



ZONING ADMINISTRATION REPORT

1075 E Hiawatha St, Ste A
Metter GA 30439

(912) 685-2835
www.metter-candlercounty.com

CHANGE IN ZONING DESIGNATION FROM: AG3 to LI
PARCEL NUMBER, SECTION NUMBER 028 004
ADDRESS OF PARCEL 38874 GA Hwy 46 W, Metter GA 30439

APPLICANT: **Hawk Construction, LLC**
OWNER (S): **USA Up Star LLC**
LAND AREA: **57.98 Acres**
PARCEL NUMBER: **028 004**
BOC DISTRICT: **3 - Ross**
REQUEST: **Change of zoning from AG-3 (Agriculture) to LI (Light Industrial)**
DATE REQUESTED: **March 10, 2025**
APPLICATION #: **Candler-2025-3**

I. INTRODUCTION

Hawk Construction, LLC on behalf of USA Up Star LLC is applying for a change of zoning of 57.98 acres from AG-3 (agricultural) to LI (light industrial) in order to build a maintenance and storage facility for their business operations. The subject parcel is 028 004 which consists of 57.98 acres located off GA Hwy 46 W located approximately one (1) mile from the city limits of Metter, GA. The owner intends to construct a 120' X 240' open structure (28,000 sq. ft.) for maintenance and storage of mobile recovery trailers and facilities located on the property.

II. BACKGROUND

USA Up Star, LLC (USAUS) is, “a Service-Disabled Veteran Owned Business incorporated in 2009 to provide best-in-class disaster, responder, and warfighter support during disaster, contingency, surge and displacement operations” (www.usaupstar.com). The company is headquartered in Greenwood, IN. USAUS acquired the subject parcel in February 2022 and constructed a 50,000 sq. ft. enclosed shelter on the property at that time (prior to the passage of the zoning ordinance).

III. DESCRIPTION OF SITE/AREA

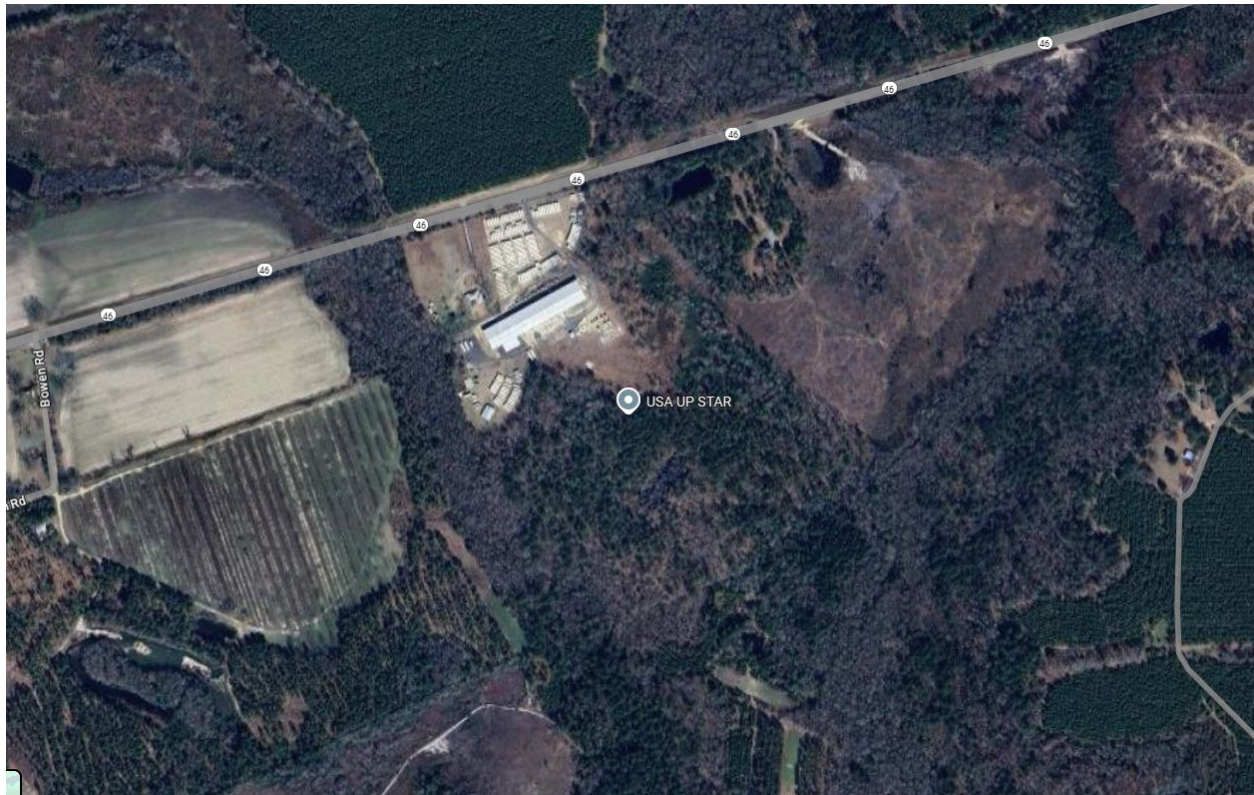
The subject property is 57.98 acres located on GA Hwy 46 W approximately one (1) mile from the city limits of Metter. The location is surrounded by farmland, but has two adjacent residential properties 38832 GA Hwy 46 W (026 004 001: 5.53 acres) and 40350 GA Hwy 46 W (028 004 003: 47.01 acres). The site is currently used as a staging area for emergency response and disaster response trailers and equipment. The business operations currently cover approximately 40% of the available land in the parcel. Adjacent land aesthetic is primarily agricultural/residential with all adjacent parcels being zoning AG-3.

According to the submitted plans the new facility will be located in the west portion of the property and will be 149' from the west property line and 217' from the secondary north property line; both meeting the required setbacks for LI.



Table 1. Adjacent Property Zoning & Land Use

Location	Zoning	Existing Land Use	Future Land Use (Comp Plan)
Site	AG-3	Comm/Industrial	Agriculture
North Parcel	AG-3	Residential/AG	Agriculture
South Parcel	AG-3	Forestry	Forestry
East Parcel	AG-3	Forestry	Forestry
West Parcel	AG-3	Agriculture	Agriculture



IV. COMPREHENSIVE PLAN (*Refer to future land use map*)

The Candler County joint comprehensive plan (2022-2027), addresses general land use goals on page 84 and states, “Candler County...seek (*sic*) future growth and development respective of its small-town and rural character, abundant natural and cultural resources and agricultural/forestry/conservation uses, and existing high quality of life. It desires balanced growth patterns which maintain and keep viable existing agricultural, forestry and conservation uses, which sustain its heritage, abundant natural and cultural resources, and which are otherwise compatible and complimentary of existing uses and scale of development.”

The plan identifies a number of land use goals:

1. Address Growth Management/Guide Compatible Development
2. Maintain Open Spaces/Agricultural/Forestry Uses/Rural Character/Quality of Life
3. Encourage Infill Development
4. Improve Community Appearance/Aesthetics
5. Seek Compatible Development/Utilization
6. Utilize Infrastructure to Guide Growth/Development
7. Protection of Local Property Values/Existing Open Space Land Uses

The existing joint comprehensive plan was completed prior to Candler County’s adoption of a zoning ordinance. The future land use map was created in the early 2000’s and has not been significantly modified during the modification and update process. During the zoning deliberation process, the Board of Commissioners elected to approve a single zone zoning map (AG3) which designated all parcels in unincorporated Candler County as agriculture.

The Zoning Ordinance defines the **agriculture (AG-3) district** as follows:

The purpose of this district is to dedicate land for farming, dairying, forestry operations, and other agricultural activities. Residences, which may or may not be incidental to these activities, are also permitted. The requirements of this district are designed to protect land needed and used for agricultural pursuits from encroachment by untimely and unplanned residential, commercial, or industrial development, and to encourage the maintenance of a rural character until more intensive development is feasible. (Zoning Ordinance, pg. 32)

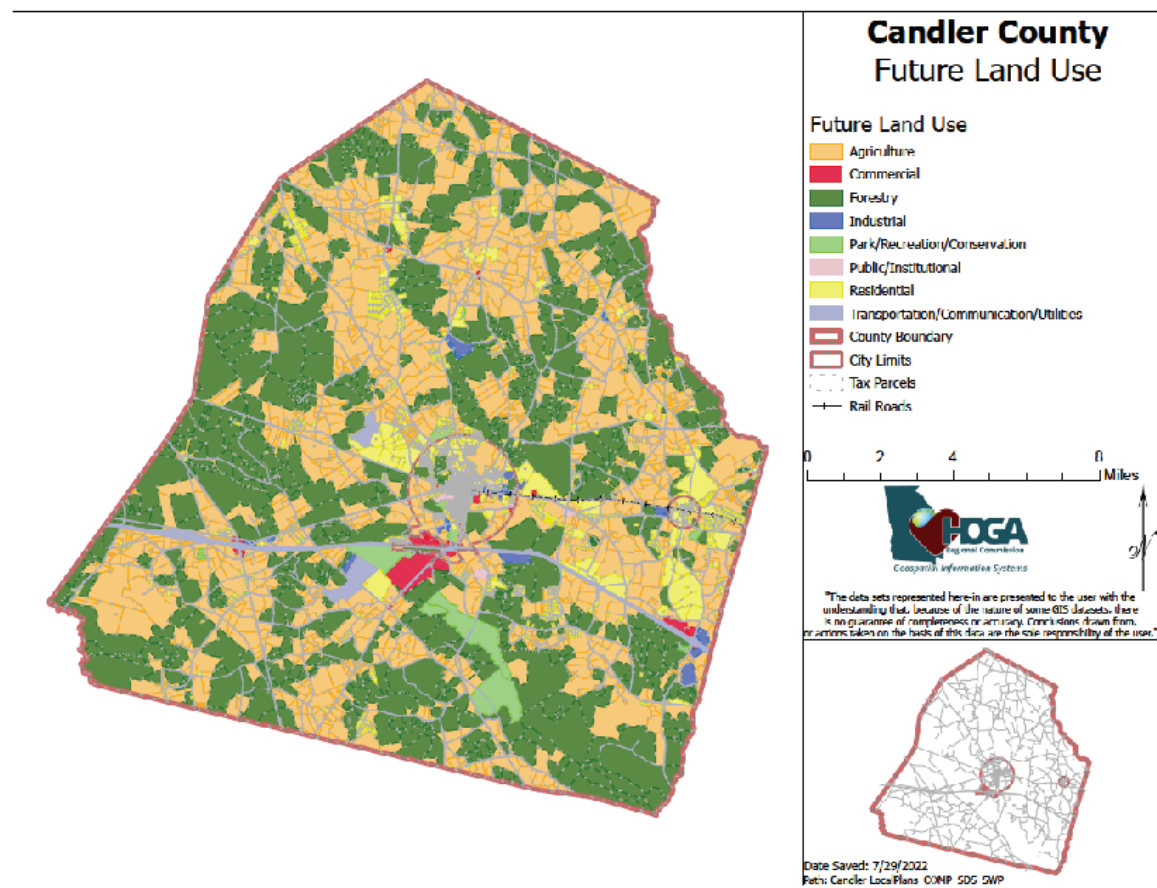
The Zoning Ordinance defines the **light industrial (LI) district** as follows:

The purpose of this district is to provide a land use category to protect and promote a suitable environment for light industrial purposes, including accessibility to major transportation facilities, availability of adequate utilities and other public services and

availability or large quantities of suitable land. Uses compatible with light industrial development are to be encouraged insofar as they are in accordance with comprehensive development plans of the county. (Zoning Ordinance, pg. 33)

The Comprehensive plan states, “most current growth is concentrated or near Metter, including residential, commercial and industrial. Commercial development is concentrated near the Georgia 23/121 I-16 interchange, along Georgia 46 in downtown and to the east...Described development trends and growth patterns are expected to continue. The county’s future land uses will closely resemble existing land uses. Agriculture, forestry, and conservation uses will continue to predominate the landscape, and maintain the outstanding existing small-town and rural character and appealing high quality of life.” (Comprehensive Plan, pg. 82)

The future land use map typically prefers location of industrial use in or abutting commercial or interstate travel areas adjacent to I-16. The subject parcels were designated agriculture or forestry on the existing future land use map. However, the current, and pre-zoning, use of the property has been converted to a commercial/industrial use.



V. ANALYSIS – *ZONING AMENDMENT*

The Candler County Zoning Ordinance, Section 805.4.1 Standards for the Official Zoning Map Amendments Decisions, lists the factors that should be considered by the Planning & Zoning Board when making a recommendation and the Board of Commissioners when making a final determination in a zoning map amendment decision. These factors are utilized “in determining compatibility” of the requested use with adjacent properties, and the overall community character when considering a requested zoning map change:

a) Is the proposed use suitable in view of the zoning and development of adjacent and nearby property?

In September 2024, all parcels of Candler County were zoned AG-3 in the initial zoning approval. Prior to the adoption of zoning this parcel’s use had been converted to commercial/industrial use for housing and storage of disaster response equipment. The surrounding and adjacent parcels are agricultural or forestry in nature and light industrial use would not typically be considered suitable in this area, however: (1) the parcel was converted prior to the adoption of zoning and the zoning map, (2) the parcel abuts a state highway and provides ready access to a number of state highways and the interstate.

b) Will the proposed use adversely affect the existing use or usability of adjacent or nearby property?

The current uses of the adjacent and nearby properties are agriculture and/or forestry. There is no evidence that the proposed use will negatively impact these. One adjacent parcel (028 004 001; Bowen), is primarily residential and may be negatively impacted by growth or industrialization of the subject property.

c) Are there substantial reasons why the property cannot or should not be used as currently zoned?

The property is currently zoned AG-3. Based on the currently established, industrial use, the current use cannot be expanded under the zoning ordinance.

d) Will the proposed use cause an excessive or burdensome use of public facilities or services, including, but not limited to, streets, schools, EMS, Sheriff or fire protection?

No. The current/proposed use has limited impact on county services.

e) Is the proposed use compatible with the purpose and intent of the Candler County Joint Comprehensive Plan?

No. The current/proposed use is not compatible with the existing future land use map (see included). The comprehensive plan prefers the current zoning (AG-3) in this area rather than commercial or industrial.

However, the comprehensive plan does contemplate, and encourage, targeted, small business & industry growth in the community to support local jobs and economic viability.

f) Will the proposed use be consistent with the purpose and intent of the proposed zoning district?

Yes. The proposed district is LI (light industrial). The proposed use is storage and maintenance of disaster response equipment. Overall, the proposed use is consistent with the current use of the property.

g) Is the proposed use supported by new or changing conditions not anticipated by the Comprehensive Plan?

The proposed use is supported by a currently established and operating business at the location. The comprehensive plan's future land use map contemplates a preferred growth scenario, but did not contemplate 'actual' establishment of land use prior to the adoption of a zoning or land use ordinance.

h) Does the proposed use reflect a reasonable balance between the promotion of the public health, safety, morality, or general welfare and the right to unrestricted use of property?

Yes.

VI. STAFF RECOMMENDATION

The applicant has requested a change of zoning in order to expand the facilities on site to continue the existing, pre-zoning land use. Although the area surrounding the subject site is not consistent with LI (light industrial) use, these areas have likely already experienced any negative impacts which may be experienced due to a conversion of the site to that use.

Staff recommends that the board consider the impact to the area, and adjacent properties, should the existing land use be discontinued and the property transferred for another use under the light industrial designation. A review of the current use of the property indicates that it may more closely fall under the GC (general commercial) designation rather than industrial. Staff recommends that the board consider approval of a change to GC, which is less permissive to large scale industrial use, than the requested LI zoning designation.

Section 504.1 of the zoning ordinance permits commercial and industrial machinery and equipment sales and leasing facilities, vehicle sales/rental facility. This designation, and its supplemental requirements, appears to most closely fit the proposed use. Although this designation is permitted in both LI and GC, the GC designation is more restrictive and would provide for more consistent use with the surrounding areas in the future.

VII. EXHIBITS

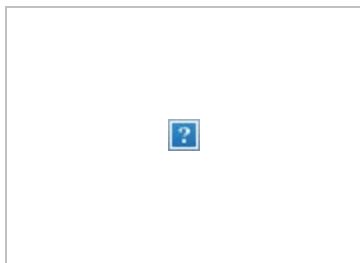
From: [Keith Gates](#)
To: [Crystal Rader](#)
Cc: [Brandon Johnson](#); [Accounting](#); [Zach Hawk](#)
Subject: 38874 W Hwy 46
Date: Friday, March 28, 2025 1:43:31 PM
Attachments: [image001.png](#)
[image002.png](#)
[image003.png](#)

Good afternoon, Crystal,

Zack Hawk of Hawk Construction, LLC can speak on behalf of USA Up Star, LLC as it relates to re-zoning the property at 38874 GA Hwy 46, Metter, GA from AG-3 to LI. In addition, I will be attending the zoning meeting on 3/8/2025 at 5:00PM to answer any questions that are not covered in this email.

The open shelter will be used as a cleaning, testing, and maintenance area for our fleet of Disaster Response Trailers. The shelter will be 120'x240' on a concrete pad with a concrete entrance ramp. The shelter will have all electrical and plumbing to support the above stated efforts.

Please do not hesitate to contact me if you have any questions. Thank you.



Keith Gates

Senior Director of Operations

USA Up Star, LLC

Headquarters

1760 Industrial Dr.

Greenwood, IN 46143

O: 317.676.1776 Extension 1004 | EST (GMT -5)

keithg@usaupstar.com



Good Morning,

I need the owner of USA UpStar to send me an email verifying that Zach is acting as a representative/contractor with permission to request the change of zoning in Candler County on parcel# 028-004 from AG-3 Agricultural to LI Light Industrial. He has already submitted the documentation as needed.

@Zach- Sen me a brief email explaining your plans with the open shelter and the request to change the zoning.

The Public Notice will be advertised in the local Metter Advertiser on 4/9/25 and I will put up 2 signs on the property that week as well.

The PZ Meeting will be held at my office on Tuesday at 5 pm on 5/6/25.

Thanks so much!

Crystal Rader Turner
Candler County Board of Commissioners
1075 East Hiawatha Street, Suite A
Metter, Georgia 30439
Office: 912-685-2835
Fax: 912-685-4823

"This communication and all attachments may contain privileged and confidential legal communications/attorney work product intended solely for the use of the addressee. If you are not the intended recipient, any reading, distribution, copying or other use of this communication and/or attachments hereto is prohibited and you should delete this message from all locations, and advise the sender at the above contact information. Thank you."



Candler County Board of Commissioners
Building Permit Application

Date: 3/10/2025
Applicant Name: Hawk Construction LLC
Applicant Mailing Address: 742 Metts RD Stateburg GA 30461
Email Address: zach@hawkconstructionllc.com
Phone #: 912-481-1701

911 Address of Construction: 38874 W Hwy 46
Parcel No: 028 004
General/Contractor: Hawk Construction LLC State License No. GLQA 005091
Electrical Contractor: Current Connection Services LLC State License No. EX 218903
Project Type: ☒ New ☐ Mobile Home
☐ Renovation/Alteration ☐ Tiny Home
☐ Sign ☐ Other

Type of Structure: ☒ Commercial ☐ Residential ☐ Agricultural ☐ Mixed Use
Size of Structure: 120 x 240 (28,000 sq ft) sq/ft (provide copy of plans/design)
Estimated Cost of Construction: \$ 650,000
Statement of Use of land/structure:

Open Shelter to cover FEMA trailers.

All applications shall include a detailed statement as to the proposed use of the building and/or land for which the permit is sought (Section 802; 5.1.2)

All applications shall include a detailed plat/drawing of the exact size, shape and location of the building or structure to be erected thereon with exact distances from said building or structure to property lines and street rights-of-way

I hereby attest that I am the owner or authorized agent of the owner of the referenced property and am authorized to make this application. I further attest, under penalty of perjury, that the statements made with regard to this application are true and correct.

Signature of Applicant: _____

Date: 3/10/2025

BUILDING PERMITS EXPIRE 180 DAYS FROM THE DATE OF ISSUANCE



Candler County Board of Commissioners
Building Permit Application

OFFICE USE ONLY

Zone: ☐ AG-3 ☐ R-1 ☐ R-22 ☐ MR ☐ MHP ☐ NC ☐ GC ☐ LI ☐ HI

Is this use permitted: ☐ Yes ☐ No

Property Setback Requirements (Section 403 Zoning Ordinance):

Front: _____ ft. Side: _____ ft. Rear: _____ ft.

Comments:

Permits Obtained:

☐ Electrical Fee Paid: \$ _____
☐ Septic
☐ Land Disturbance Fee Paid: \$ _____

Date Issued: _____
Date Issued: _____
Date Issued: _____

Permit Issuance:

Date Issued: _____
Expiration Date: _____
Fees Collected: _____

(180 days from issue)
Date: _____

Renewal Date: _____
Fees Collected: _____

Date: _____
Date: _____

Date Permit Closed: _____

Final Inspection Date: _____

Comments:



Candler County Board of Commissioners
Building Permit Application

Violations:



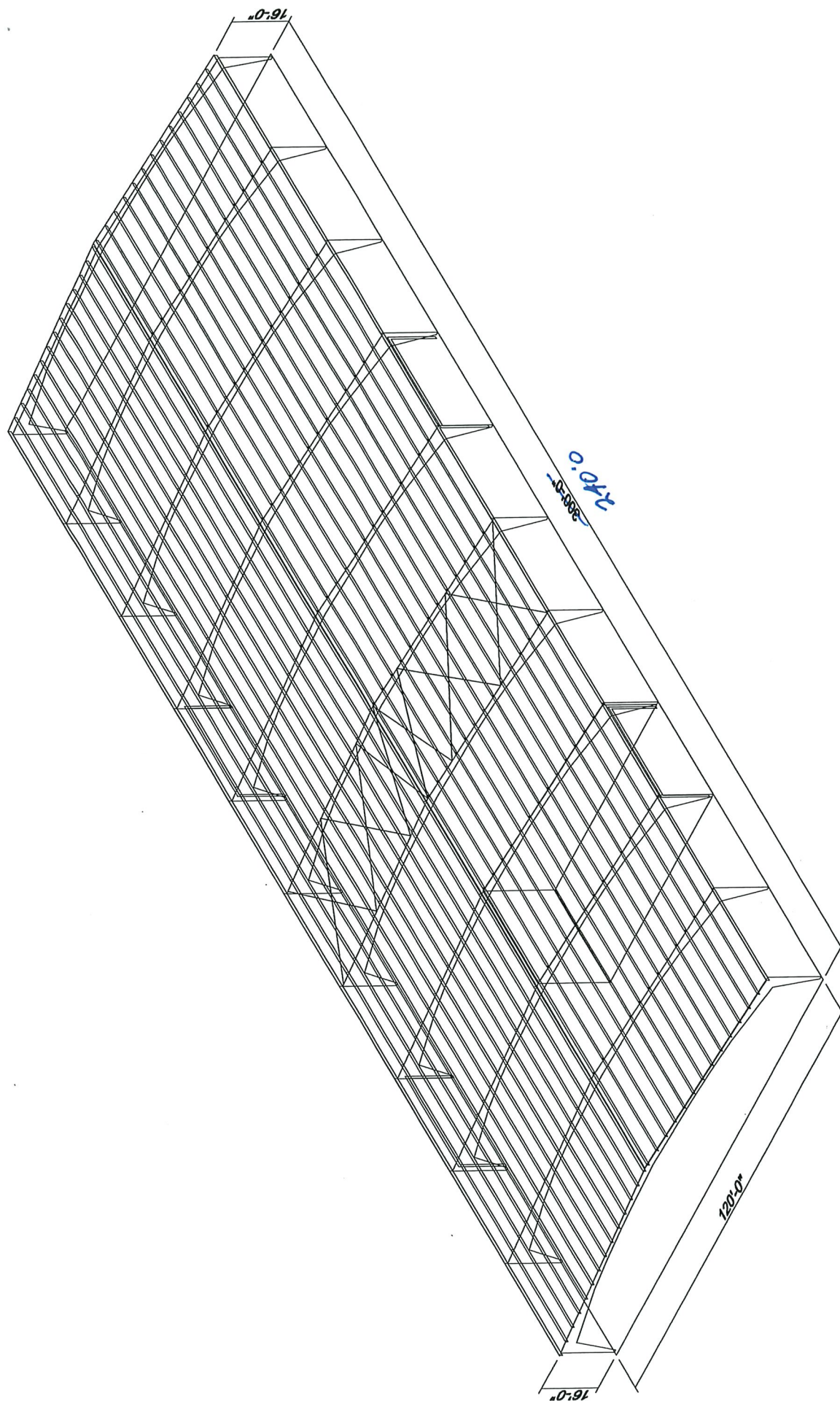
1 - 120' X 300' X 16' - 1.000:12 ROOF PITCH W/ 10 @
30' BAY SPACINGS
1 - 120' RIGID FRAMING ON LEFT ENDWALL W/ 5 @ 24' SPACINGS
1 - 120' RIGID FRAMING ON RIGHT ENDWALL W/ 5 @
24' SPACINGS
MAIN FRAMES: 11 RIGID FRAME, CLEAR SPAN
ROOF: 26 GAUGE PBR GALVALUME W/DIE-FORMED RIDGE CAP
FRONT SIDEWALL: OPEN TO REMAIN
BACK SIDEWALL: OPEN TO REMAIN
LEFT ENDWALL: OPEN TO REMAIN
RIGHT ENDWALL: OPEN TO REMAIN
RIGID FRAME ON LEFT ENDWALL
RIGID FRAME ON RIGHT ENDWALL
PORTAL FRAME BRACING ON FRONT SIDEWALL
PORTAL FRAME BRACING ON BACK SIDEWALL
1 STRUCTURAL STAMP
600 FEET OF SCULPTURED GUTTER WITH DOWNSPOUTS

THIS BUILDING DESIGNED TO MEET THE IBC 18/GSBC 20 OPEN
CODE SPECIFICATIONS

FOR 12.00/ 20.00/ 116MPH (3 SECOND GUST), EXPOSURE B.

1.00# COLLATERAL, 0.00# GROUND SNOW/ 0.00# ROOF SNOW
LOADING.

RISK CATEGORY = II - NORMAL





X Clear search results



STATE OF GEORGIA
BRAD RAFFENSPERGER, Secretary of State
State Licensing Board for Residential and General Contractors
LICENSE NO. GCQA005091

Zachary Deal Hawk, Sr
4541 Middleground Road
Statesboro GA 30461

Company Name: Hawk Construction LLC
Company License NO: GCCO005093
General Contractor Qualifying Agent

EXP DATE - 06/30/2026 Status: Active
Issue Date: 04/18/2016

A pocket-sized license card is below. Above is an enlarged copy of your pocket card.
Please make note of the expiration date on your license. It is your responsibility to renew your license before it expires. Please notify the Board if you have a change of address.
Wall certificates suitable for framing are available at cost, see board fee schedule. To order a wall certificate, please order from the web site – www.sos.ga.gov/plb.
Please refer to Board Rules for any continuing education requirements your profession may require.

Georgia State Board of Professional Licensing
237 Coliseum Drive
Macon GA 31217
Phone: (404) 424-9966
www.sos.ga.gov/plb

Zachary Deal Hawk, Sr
4541 Middleground Road
Statesboro GA 30461

STATE OF GEORGIA
BRAD RAFFENSPERGER, Secretary of State
Georgia State Licensing Board for Residential and General Contractors
License No. GCQA005091

Zachary Deal Hawk, Sr

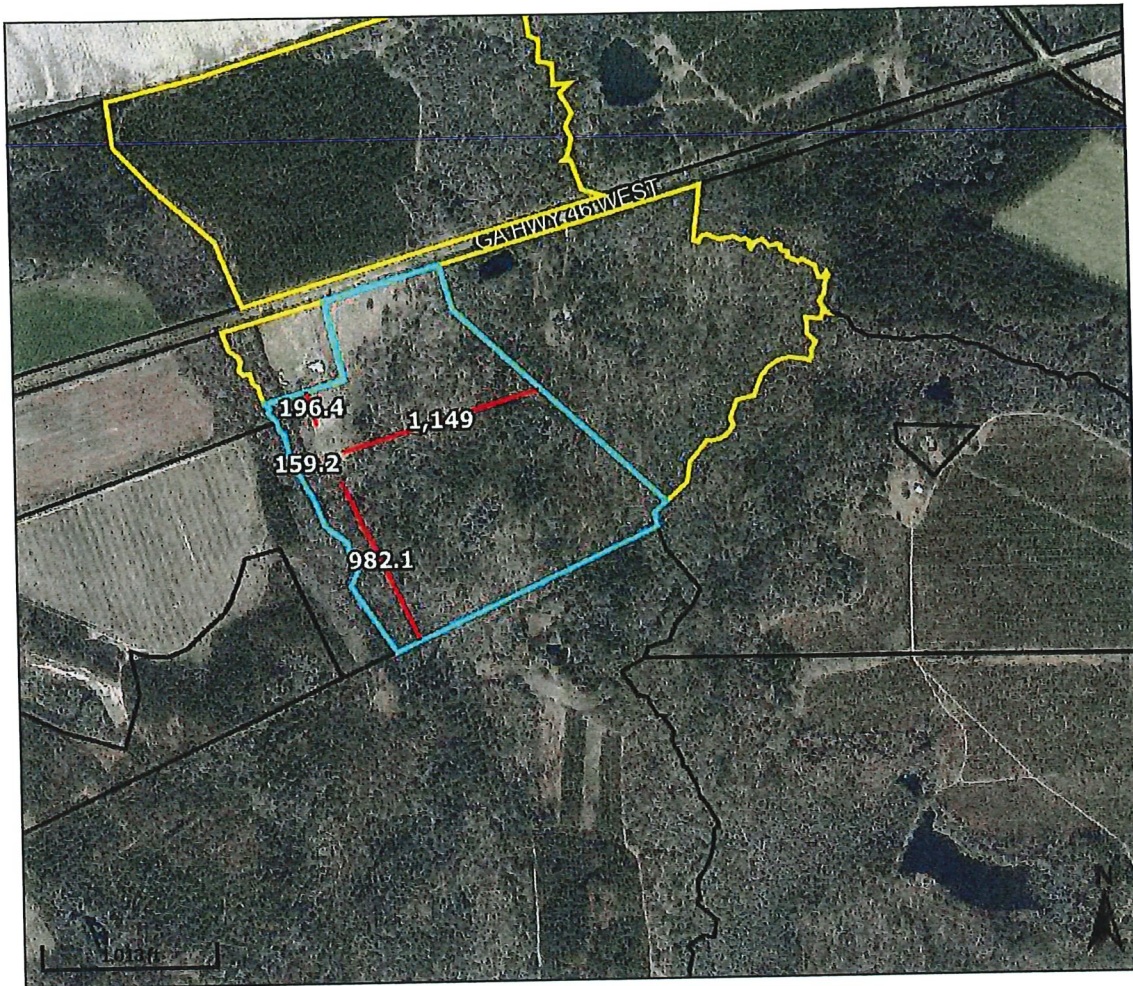
4541 Middleground Road
Statesboro GA 30461

Company Name: Hawk Construction LLC
Company License NO: GCCO005093
General Contractor Qualifying Agent

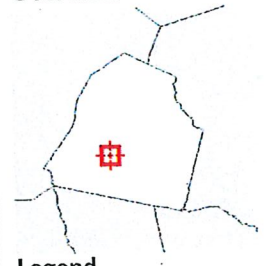
EXP DATE - 06/30/2026 Status: Active
Issue Date: 04/18/2016



Candler County, GA



Overview



Legend

- Parcels
- Roads

Parcel ID 028 004
Class Code Commercial
Taxing District COUNTY
Acres 57.98

Owner USA UP STAR LLC
1760 INDUSTRIAL DR
GREENWOOD, IN 46143
Physical Address 38874 W HWY 46
Assessed Value Value \$1469977

Last 2 Sales			
Date	Price	Reason	Qual
2/23/2022	\$231928	IS	U
4/12/2004	\$115964	TI	U

(Note: Not to be used on legal documents)

Date created: 3/11/2025
Last Data Uploaded: 3/11/2025 6:10:24 AM

Developed by  SCHNEIDER
GEOSPATIAL

Section 403. Dimensional Requirements by District

Table 3. Table of Dimensional Requirements

DEVELOPMENT STANDARDS										
Within the various zoning districts as indicated on the "Official Zoning Map of Candler County, Georgia", no building or structure, excluding all signs, shall be constructed or erected except as indicated in the following schedule:										
District	Minimum heated Floor Area Per Dwelling Unit (Sq. Ft.)	Minimum Lot Size	Minimum Lot Width (Feet)	Minimum Setback (Feet, measured from property line)			Side Yard	Rear Yard	Minimum Street Frontage (Feet)	
				Arterial	Collector	Local				
AG-3	250	Three (3) acres	200	50	50	40	10	10	60	
R-1	250	One (1) acre	150	40	40	40	10	10	30	
R-22	250	22,000 Sq. Ft.	100	40	40	40	10	10	30	
MR	600	Three (3) acres	125	50	50	40	10	10	60	
MHP	250	Five (5) acres	100	40	40	40	10	10	30	
NC	N/A	Half (0.5) acre	100	75	75	75	50	50	60	
GC	N/A	One (1) acre	100	75	75	75	50	50	60	
LI	N/A	One (1) acre	210	75	75	75	50	50	60	
HI	N/A	One (1) acre	210	75	75	75	50	50	60	



PERMIT NO. : 2025- 39

ELECTRICAL PERMIT APPLICATION

APPLICATION AND SUPPORTING DOCUMENTATION ARE REQUIRED PRIOR TO APPROVAL

CONTACT NAME: ZACH HAWK (CHECK ONE) OWNER ☐ AGENT ☒
PHONE: 912-481-1701 EMAIL: ZACH@HAWKCONSTRUCTIONLLC.COM DATE: 03/11/2025
POWER COMPANY EMC ELECTRICAL CONTRACTOR WILLIAM RAFE BINNS
GA LICENSE NUMBER EN218903 ☒ ELECTRICAL LICENSE COPY ☐ BUSINESS LICENSE COPY

LOCATION

PARCEL ID: 028-004 911 ADDRESS: 38874 HWY 46 METTER
PROPERTY OWNER: USA UP STAR LLC (PAUL PARRISH) PHONE: 904-468-0577
MAILING ADDRESS: 1760 INDUSTRIAL DR, GREENWOOD IN 46143

CONSTRUCTION

☐ RESIDENTIAL ☒ COMMERCIAL ☐ UTILITY/STORAGE ☐ AGRICULTURAL WELL ☐ OTHER
BEDROOMS _____ BATHROOMS _____ SQ FT 28,000 or DIMENSIONS _____ x _____ COMPLETION DATE 12/31/2025
ESTIMATED COST _____ COMMENTS NEW CONSTRUCTION / OPEN SHELTER / NO RESIDENCE
SEPTIC PERMIT NO. _____ WELL LOCATION ☒ SAME PARCEL ☐ COMMUNITY ☐ PARCEL ID _____
ARE THERE ANY DEED RESTRICTIONS, FEDERAL PROGRAMS, COVENANTS, ORDINANCES OR ZONING THAT MAY RESTRICT THIS
CONSTRUCTION ON THE ABOVE REFERENCED PROPERTY? ☒ NO ☐ IF YES, PLEASE EXPLAIN _____

USING THIS PERMIT TO CONNECT POWER TO ANY CONSTRUCTION OTHER THAN THE PURPOSE LISTED ABOVE IS A
VIOLATION OF THE CANDLER COUNTY ELECTRICAL PERMIT ORDINANCE WHICH MAY CARRY UP TO A \$1,000 FINE.

PROPERTY OWNER OR AGENT SIGNATURE

03/11/2025

DATE

COUNTY REPRESENTATIVE SIGNATURE

03/11/2025

DATE

OFFICE USE ONLY

☒ TEMPORARY ☐ PERMANENT

LANDFILL _____ EMS _____ POLYCART _____

PERMIT \$35.00 TOTAL \$35.00

CASH CHECK ☒ CARD OTHER



eStore Payment Receipt
Candler County, GA
1075 E. Hiawatha Street, Suite A
Metter, Georgia 30439

Order ID: 267761
Payment Type/Last 4 of CC: Mastercard-3943
Payment Method: POS

Items Ordered

Office	Product	Ship	Price	Qty	Sales Tax	Subtotal
Electrical Permit	Electrical Permit		\$35.00	1.00		\$35.00

Customer Name:	ZACHARY D HAWK
Payor Name:	ZACHARY D HAWK
Billing Address:	
City/State/Zip:	
Phone #:	912-481-1701
Email:	
Payment Date:	03/11/2025 3:52:42 PM
Payment Clerk:	Ronda Myers
Confirmation #:	36496262

Thank you for your payment. You will see two transactions on your card related to your payment:

- 1) eStore billed by Candler County, GA
- 2) Service Fee billed by GovernmentWindow

Order Amount:	\$35.00
Service Fee Amount:	\$2.00
Total Paid:	\$37.00

-- CUSTOMER COPY --



eStore Payment Receipt
Candler County, GA
1075 E. Hiawatha Street, Suite A
Metter, Georgia 30439

Order ID: 267761
Payment Type/Last 4 of CC: Mastercard-3943
Payment Method: POS

Items Ordered

Office	Product	Ship	Price	Qty	Sales Tax	Subtotal
Electrical Permit	Electrical Permit		\$35.00	1.00		\$35.00

Customer Name:	ZACHARY D HAWK
Payor Name:	ZACHARY D HAWK
Billing Address:	
City/State/Zip:	
Phone #:	912-481-1701
Email:	
Payment Date:	03/11/2025 3:52:42 PM
Payment Clerk:	Ronda Myers
Confirmation #:	36496262

Thank you for your payment. You will see two transactions on your card related to your payment:

- 1) eStore billed by Candler County, GA
- 2) Service Fee billed by GovernmentWindow

Order Amount:	\$35.00
Service Fee Amount:	\$2.00
Total Paid:	\$37.00

Signature: _____

-- OFFICE COPY --



PROFESSIONAL LICENSING

GEORGIA SECRETARY OF STATE BRAD RAFFENSPERGER

CORPORATIONS • ELECTIONS • LICENSING • CHARITIES

Licensee Details

Licensee Information

Name: William Rafe Binns

Address:

Brooklet GA 30415

Primary Source License Information

Lic #:	EN218903	Profession:	Electrical Contractor	Type:	Electrical Contractor- Non Restricted
Secondary:		Method:	Examination	Status:	Active
Issued:	12/20/2024	Expires:	6/30/2026	Last Renewal Date:	

Associated Licenses

No Prerequisite Information

Public Board Orders

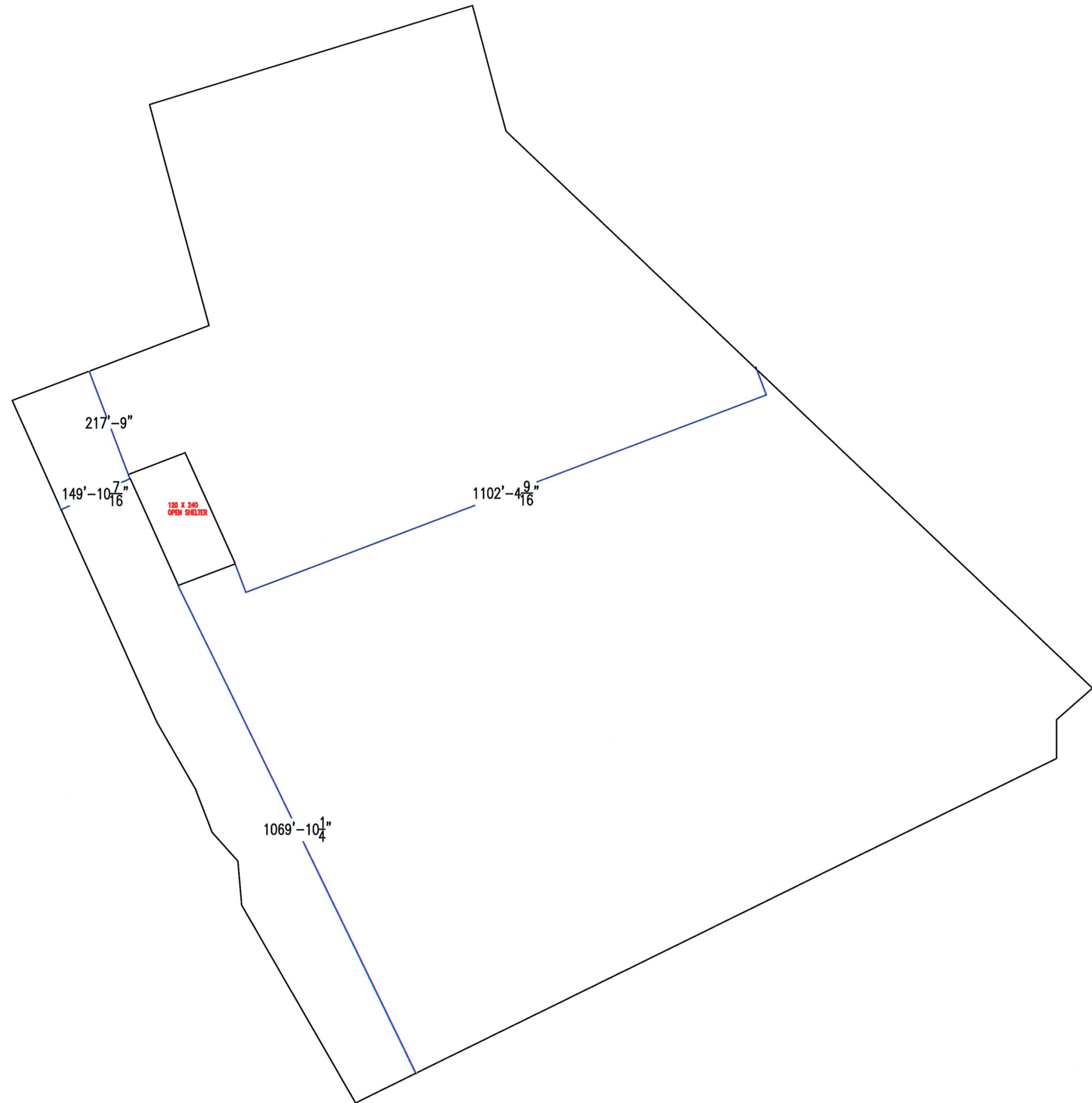
Please see Documents section below for any Public Board Orders

Other Documents

No Other Documents

Data current as of: March 11, 2025 15:44:39

This website is to be used as a primary source verification for licenses issued by the Professional Licensing Boards. Paper verifications are available for a fee. Please contact the Professional Licensing Boards at 844-753-7825.





THIS IS A LETTER OF CERTIFICATION FOR STEEL BUILDING SYSTEMS, INC.'S PROJECT #25-03-119 FOR HAWK CONSTRUCTION TO BE LOCATED IN METTER, GA.

THIS LETTER CERTIFIES THAT STEEL BUILDING SYSTEMS, INC.'S BUILDING(S) MEETS THE INFORMATION IN THE DESIGN CRITERIA.

THIS LETTER OF CERTIFICATION IS WRITTEN SPECIFICALLY FOR THE BUILDING(S) PROVIDED BY STEEL BUILDING SYSTEMS, INC. THIS LETTER DOES NOT IMPLY NOR CONSTITUTE AN AGREEMENT THAT THE MANUFACTURER OR THE MANUFACTURER'S ENGINEER IS ACTING AS THE ENGINEER OF RECORD OR DESIGN PROFESSIONAL FOR THE CONSTRUCTION PROJECT.

DESIGN CRITERIA

WIDTH (ft)	= 120.0	RISK CATEGORY	= II-NORMAL
LENGTH (ft)	= 240.0	SEISMIC SITE CLASS	= D
EAVE HEIGHT (ft)	= 16.125/16.125	SEISMIC COEFFICIENT	= 0.34
ROOF SLOPE (Rise/12)	= 1.0	MAPPED RESPONSE (Ss)	= 0.2148
BUILDING CODE	= GSBC 20/IBC 18	MAPPED RESPONSE (S1)	= 0.0889
DEAD LOAD (psf)	= 2.00	DESIGN CATEGORY (SDC)	= C
COLLATERAL LOAD (psf)	= 1.00	IMPORTANCE - SEISMIC	= 1.00
ROOF LIVE LOAD (psf)	= 20.00	SITE COEFFICIENT (Fa)	= 1.6000
LIVE LOAD REDUCTION	= YES	SITE COEFFICIENT (Fv)	= 2.4000
GROUND SNOW LOAD (psf)	= 0.00	DESIGN RESPONSE (Sms)	= 0.3437
ROOF SNOW LOAD (psf)	= 0.00	DESIGN RESPONSE (Sm1)	= 0.2134
THERMAL COEFFICIENT (Ct)	= 1.20	DESIGN RESPONSE (Sds)	= 0.2291
IMPORTANCE - SNOW	= 1.00	DESIGN RESPONSE (Sd1)	= 0.1422
SNOW EXPOSURE (Ce)	= 1.00	RES MOD FACTOR (Mom) R	= 3.00
ULTIMATE WIND (ult) (mph)	= 116.0	APP PERIOD (MOMENT) Ta	= 0.2890
NOMINAL WIND (asd) (mph)	= 89.85	RES MOD FACTOR (Brc) R	= 3.00
RISK CATEGORY	= II-NORMAL	APP PERIOD (Braced) Ta	= 0.1784
WIND EXPOSURE	= B	TRANVERSE SYSTEM	= MOMENT FRAMES
ENCLOSED/OPEN/PARTIAL	= OPEN	LONGITUDINAL SYSTEM (ROOF)	= BRACED FRAMES
INTERNAL GCpi	= 0.00 / 0.00	LONGITUDINAL SYSTEM (FSW)	= MOMENT FRAMES
		LONGITUDINAL SYSTEM (BSW)	= MOMENT FRAMES

NOTE: THE SEISMIC ANALYSIS PROCEDURE USED ON THIS STRUCTURE IS THE EQUIVALENT LATERAL FORCE PROCEDURE.

STRUCTURAL STEEL		COMPONENTS AND CLADDING			
ASTM# (Plate)	= A529; A572; A1011	COMP/CLAD LOCATION	PRES (PSF)	SUCT (PSF)	ROOF SUCT (PSF)
PLATE YIELD (Fy)	= 50.0 ksi	COLUMN	16.0	-16.0	
ASTM# (Bar)	= A-529; A-570; A-572	GIRT/HEADER	16.0	-16.0	
PLATE YIELD (Fy)	= 50.0 ksi	JAMB	16.0	-16.0	
LIGHT GUAGE STEEL		WALL PANEL	16.0	-22.2	
ASTM# (Cold-Form)	= A1008; A1011	PURLIN	16.0	-23.2	
COLD-FORM YIELD (Fy)	= 55.0 ksi	ROOF PANEL	16.0	-29.4	
ASTM# (Panel)	= A792	LONG. BRACING	8.8	-6.4	-20.7
PANEL YIELD (Fy)	= 80.0 ksi	LONG. BRACING (EDGE ZONE)	13.4	-9.4	

NOTE: ALL CONNECTION BOLTS ARE DESIGNATED IN THESE DRAWINGS AS EITHER A "M" FOR A307 BOLTS OR A "H" FOR A325 BOLTS.

NOTES TO ERECTOR/OWNER:

- [1] "SBS" IS NOT RESPONSIBLE FOR THE ERECTION OF THE BUILDING, THE SUPPLY OF ANY TOOLS OR EQUIPMENT, OR ANY OTHER FIELD WORK UNLESS "SBS" HAS BEEN CONTRACTED FOR THESE. "SBS" DOES NOT PROVIDE ANY FIELD SUPERVISION FOR THE ERECTION OF THE BUILDING, NOR DOES "SBS" PERFORM ANY INSPECTIONS DURING OR AFTER ERECTION.
- [2] USE ONLY THE ERECTION DRAWINGS PROVIDED BY "SBS" AND INCLUDED IN THE ERECTOR'S PACKAGE DELIVERED BY THE TRUCK DRIVER WITH THE BUILDING. "SBS" IS NOT LIABLE FOR ANY CLAIM RESULTING FROM THE USE OF OTHER DRAWINGS.
- [3] CHECK SLAB AND ANCHOR BOLT PLACEMENTS BEFORE STANDING ANY FRAMING. IF THE THE SLAB IS NOT SIZED CORRECTLY OR IS OUT OF SQUARE, OR IF THE ANCHOR BOLTS ARE NOT CORRECTLY LOCATED, CALL "SBS". "SBS" IS NOT LIABLE FOR LABOR CHARGES RESULTING FROM STANDING FRAMING ON AN INCORRECT SLAB.
- [4] BEGIN ERECTION WITH A BRACED BAY. INSTALL THE EAVE STRUTS FIRST AND THEN THE PURLINS WHICH FALL AT THE CABLE ATTACHMENT POINTS. NEXT, INSTALL ROOF AND WALL CABLES TO A SNUG CONDITION, SO THAT THE FRAMING IS BRACED. FINISH INSTALLING PURLINS AND GIRTS IN THE BRACED BAY. USING THE THE CABLE BRACING, SQUARE AND PLUMB THE FRAMING. CONTINUE WITH REMAINING BAYS, INSTALLING BRACING AS ADDITIONAL BRACED BAYS ARE ERECTED.
- [5] THE CORRECTION OF MINOR MISFITS BY THE USE OF DRIFT PINS TO DRAW THE COMPO- NENTS INTO LINE, MODERATE AMOUNTS OF REAMING, CHIPPING AND CUTTING, AND THE REPLACEMENT OF MINOR SHORTAGES OF MATERIAL ARE A NORMAL PART OF ERECTION AND ARE NOT SUBJECT TO CLAIM. CONTACT "SBS" BEFORE MAKING ANY FIELD MOD- IFICATION TO THE BUILDING. "SBS" DOES NOT PAY CLAIMS FOR ERROR CORRECTION UNLESS APPROVED IN WRITING BY "SBS" BEFOREHAND.

STATUS OF THESE DRAWINGS

- ☐ FOR OWNER'S USE - NOT FOR CONSTRUCTION. ENGINEERED BUT NOT DETAILED FOR MANUFACTURE.
- ☐ FOR APPROVAL - NOT FOR CONSTRUCTION. ENGINEERED BUT NOT DETAILED FOR MANUFACTURE.
- ☒ FOR PERMITTING - FOR CONSTRUCTION. ENGINEERED BUT NOT DETAILED FOR MANUFACTURE.
- ☐ FINAL DRAWINGS - FOR CONSTRUCTION. ENGINEERED AND DETAILED FOR MANUFACTURE.
- ☐ ERECTION DRAWINGS - FOR CONSTRUCTION. ENGINEERED AND DETAILED FOR MANUFACTURE.
- ☐ ANCHOR BOLT PLANS - FOR CONSTRUCTION.

GLEN S ASHLEY
Digitally signed by GLEN S ASHLEY
Date: 2025.03.24 06:04:21 -04'00'

STRUCTURAL STAMP



THIS ITEM HAS BEEN ELECTRONICALLY SIGNED AND SEALED BY G. STUART ASHLEY ON THE DATE AND/OR TIME STAMP SHOWN USING A DIGITAL SIGNATURE. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.



REVISIONS

- [1]
- [2]
- [3]
- [4]
- [5]

HAWK CONSTRUCTION
38874 HIGHWAY 46
METTER, GA 30439
LOCATION: METTER, GA

FOR :



STEEL BUILDING SYSTEMS INC.
320 STEVENS LANE - P.O. BOX 447
ADEL, GEORGIA 31620
PH: 229.896.7428 • FAX: 229.896.2881 • www.sbsga.com

FROM :

JOB NO : 25-03-119

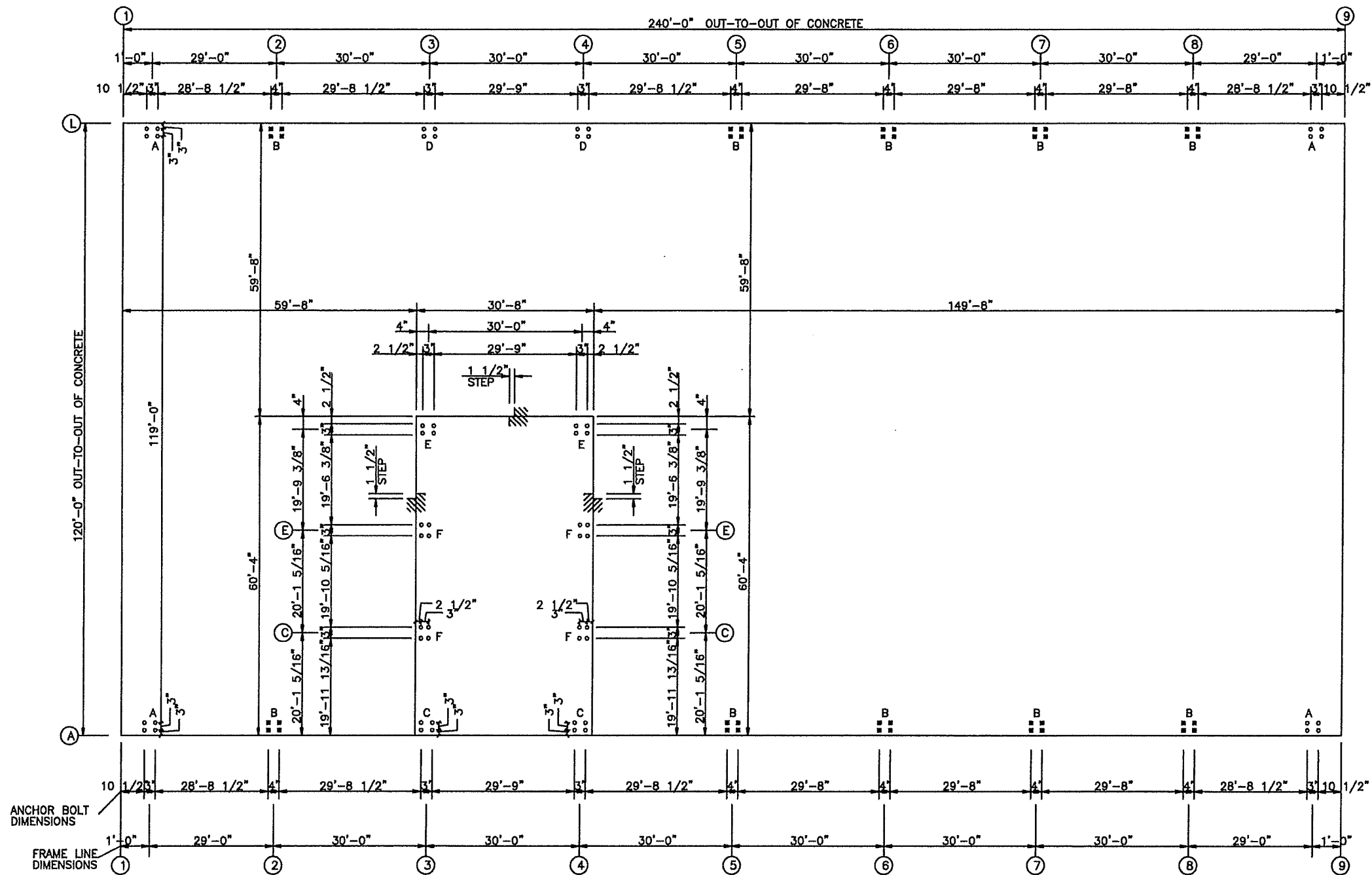
DATE : 3/20/25

BY : MS SCALE : NONE

TITLE : COVER PAGE


NUMBER : COVER

○ DIA=3/4"
⊗ DIA= 1"



ANCHOR BOLT PLAN
NOTE: ALL BASE PLATES • 100'-0" (UNLESS NOTED)


GLEN S ASHLEY Digitally signed by GLEN S ASHLEY
Date: 2025.03.24 06:04:04 -04'00'

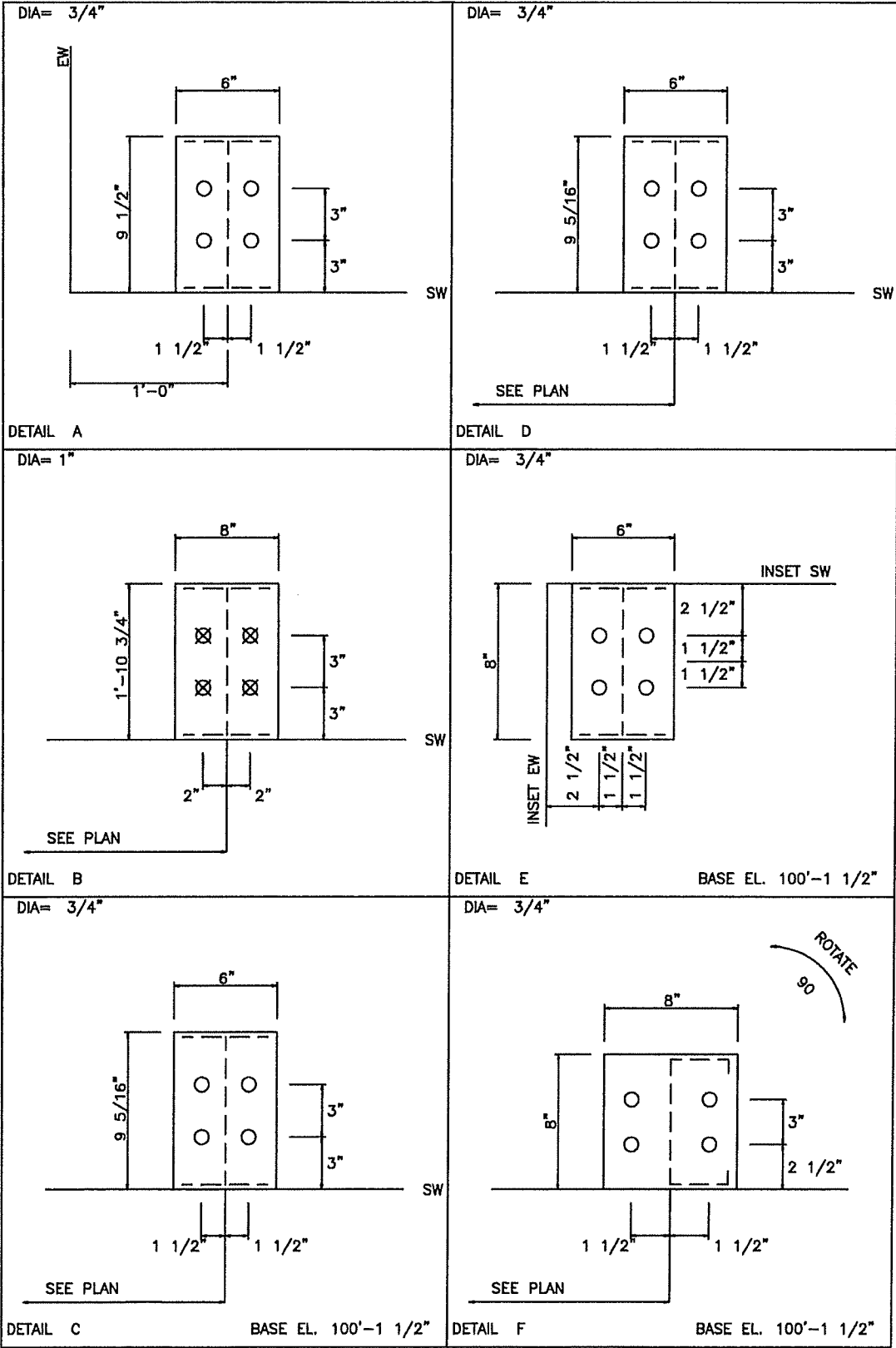


STEEL BUILDING SYSTEMS INC.


REVISIONS	CUSTOMER: HAWK CONSTRUCTION		
[1]	JOB NO: 25-03-119	DATE: 3/20/25	
[2]	LOCATION: METTER, GA		
[3]	DRAWING NAME: ANCHOR BOLT LAYOUT	SCALE: NONE	
[4]	DRAWING NO: PAGE 1	DRAWN BY: MS	CHECKED BY:

STRUCTURAL STAMP






GLEN S ASHLEY Digitally signed by GLEN S ASHLEY
Date: 2025.03.24 06:03:48 -04'00'



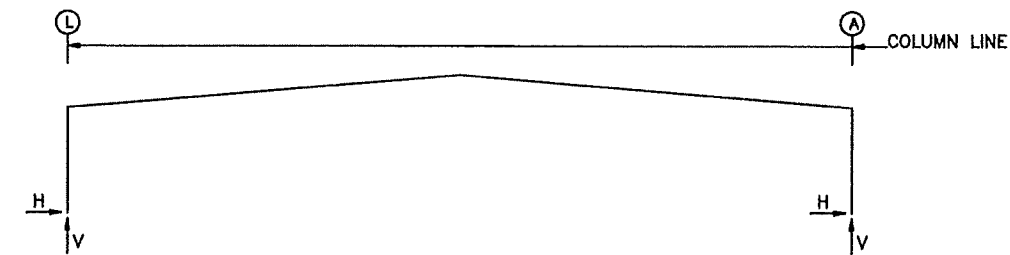
STEEL BUILDING SYSTEMS INC.

REVISIONS	CUSTOMER: HAWK CONSTRUCTION		
[1]	JOB NO: 25-03-119	DATE: 3/20/25	
[2]	LOCATION: METTER, GA		
[3]	DRAWING NAME: ANCHOR BOLT DETAILS	SCALE: NONE	
[4]	DRAWING NO: PAGE 1.1	DRAWN BY: MS	CHECKED BY:

STRUCTURAL STAMP



FRAME LINES: 1 2 5 6 7 8 9



RIGID FRAME: MAXIMUM REACTIONS, ANCHOR BOLTS, & BASE PLATES

FRM LINE	COL LINE	COLUMN_REACTIONS(k)						BOLT(in) QTY	BASE_PLATE(in)				ELEV. (in)
		LOAD Id	HMAX H	V VMAX	LOAD Id	HMIN H	V VMIN		DIA	WIDTH	LENGTH	THICK	
1*	L	3	21.5	16.5	5	-12.9	-9.4	4	0.750	6.000	9.500	0.500	0.0
1*	A	4	12.9	-9.4	3	-21.5	16.5	4	0.750	6.000	9.500	0.500	0.0
		2	-21.5	16.5	4	12.9	-9.4						
1*	FRAME LINES:1 9												

RIGID FRAME: MAXIMUM REACTIONS, ANCHOR BOLTS, & BASE PLATES

FRM LINE	COL LINE	COLUMN_REACTIONS(k)						BOLT(in) QTY	BASE_PLATE(in)				ELEV. (in)
		LOAD Id	HMAX H	V VMAX	LOAD Id	HMIN H	V VMIN		DIA	WIDTH	LENGTH	THICK	
2*	L	3	39.5	30.2	5	-17.1	-12.5	4	1.000	8.000	22.75	0.500	0.0
2*	A	4	17.1	-12.5	3	-39.5	30.2	4	1.000	8.000	22.75	0.500	0.0
		2	-39.5	30.2	5	17.1	-12.5						
2*	FRAME LINES:2 5 8												

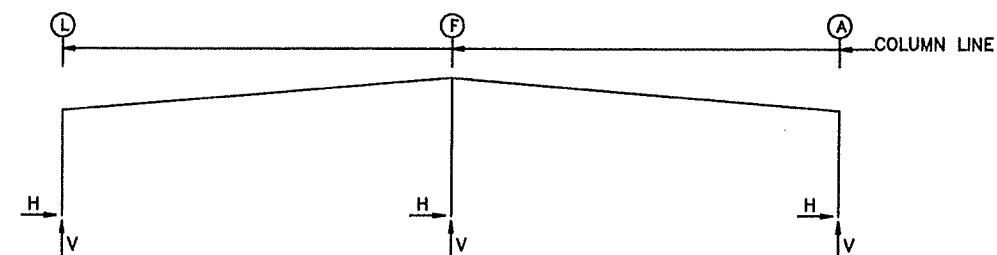
RIGID FRAME: MAXIMUM REACTIONS, ANCHOR BOLTS, & BASE PLATES

FRM LINE	COL LINE	COLUMN_REACTIONS(k)						BOLT(in) QTY	BASE_PLATE(in)				ELEV. (in)
		LOAD Id	HMAX H	V VMAX	LOAD Id	HMIN H	V VMIN		DIA	WIDTH	LENGTH	THICK	
6*	L	1	38.4	29.3	4	-10.7	-9.5	4	1.000	8.000	22.75	0.500	0.0
		3	36.7	29.5									
6*	A	4	10.7	-9.5	1	-38.4	29.3	4	1.000	8.000	22.75	0.500	0.0
		3	-36.7	29.5	4	10.7	-9.5						
6*	FRAME LINES:6 7												

NOTES FOR REACTIONS

- ALL LOADING CONDITIONS ARE EXAMINED AND ONLY MAXIMUM/MINIMUM H OR V AND THE CORRESPONDING H OR V ARE REPORTED.
- POSITIVE REACTIONS ARE AS SHOWN IN THE SKETCH. FOUNDATION LOADS ARE IN OPPOSITE DIRECTIONS.
- BRACING REACTIONS ARE IN THE PLANE OF THE BRACE WITH THE H POINTING AWAY FROM THE BRACED BAY. THE VERTICAL REACTION IS DOWNWARD.
- BUILDING REACTIONS ARE BASED ON THE FOLLOWING BUILDING DATA:
 - Width (ft) = 120.0
 - Length (ft) = 240.0
 - Eave Height (ft) = 16.1 / 16.1
 - Roof Slope (rise/run) = 1.00 / 1.00
 - Roof Dead Load (psf) = 2.0
 - Wall Dead Load (psf) = 2.0
 - Left Endwall (psf) = 2.0
 - Right Endwall (psf) = 2.0
 - Front Sidewall (psf) = 2.0
 - Back Sidewall (psf) = 2.0
 - Roof Live Load (psf) = 20.0
 - Frame Live Load (psf) = 12.0
 - Collateral Load (psf) = 1.0
 - Wind Speed (mph) = 116.0
 - Wind Code = GSBC 20 (IBC 18)
 - Exposure = B
 - Closure = Open
 - Risk Category = II - Normal
 - Importance - Wind = 1.00
 - Importance - Seismic = 1.00
 - Seismic Design Category = C
 - Seismic Coeff (Sms) = 0.34
- LOADING CONDITIONS ARE:
 - Dead+Collateral+Live
 - Dead+Collateral+0.75Live+0.45Wind_Long2L
 - Dead+Collateral+0.75Live+0.45Wind_Long2R
 - 0.6Dead+0.6Wind_Long1L
 - 0.6Dead+0.6Wind_Long1R

FRAME LINES: 3 4



RIGID FRAME: MAXIMUM REACTIONS, ANCHOR BOLTS, & BASE PLATES

FRM LINE	COL LINE	COLUMN_REACTIONS(k)						BOLT(in) QTY	BASE_PLATE(in)				ELEV. (in)
		LOAD Id	HMAX H	V VMAX	LOAD Id	HMIN H	V VMIN		DIA	WIDTH	LENGTH	THICK	
3	L	1	4.9	12.5	4	-1.4	-5.3	4	0.750	6.000	9.313	0.375	0.0
		3	4.8	13.4									
3	A	4	1.4	-5.3	1	-4.9	12.5	4	0.750	6.000	9.313	0.375	1.5
		3	-4.8	13.4	4	1.4	-5.3						
3	F	5	0.0	-9.1	5	0.0	-9.1	4	0.750	6.000	8.000	0.500	1.5
		1	0.0	32.5									

RIGID FRAME: MAXIMUM REACTIONS, ANCHOR BOLTS, & BASE PLATES

FRM LINE	COL LINE	COLUMN_REACTIONS(k)						BOLT(in) QTY	BASE_PLATE(in)				ELEV. (in)
		LOAD Id	HMAX H	V VMAX	LOAD Id	HMIN H	V VMIN		DIA	WIDTH	LENGTH	THICK	
4	L	1	4.9	12.5	4	-1.4	-5.3	4	0.750	6.000	9.313	0.375	0.0
		3	4.8	13.4									
4	A	4	1.4	-5.3	1	-4.9	12.5	4	0.750	6.000	9.313	0.375	1.5
		3	-4.8	13.4	4	1.4	-5.3						
4	F	5	0.0	-9.1	5	0.0	-9.1	4	0.750	6.000	8.000	0.500	1.5
		1	0.0	32.5									

ANCHOR BOLT SUMMARY

QTY	LOCATE	DIA (in)	TYPE	PROJ. (in)
40	FRAME	3/4"	F1554	2.50
40	FRAME	1"	F1554	3.00
16	PARTITION	3/4"	F1554	1.50

BUILDING BRACING REACTIONS

WALL LOC	COL LINE	± REACTIONS(k)				PANEL SHEAR (lb/ft)		Note
		WIND HORZ	WIND VERT	SEISMIC HORZ	SEISMIC VERT	WIND	SEIS	
L_EW	1							(h)
F_SW	A	3,4	3.3	3.1	1.4	1.4		(b)
		6,7	3.3	3.1	1.4	1.4		(b)
R_EW	9							(h)
B_SW	L	6,7	3.3	3.1	1.4	1.4		(b)
		3,4	3.3	3.1	1.4	1.4		(b)

(b)Wind bent in bay, base above finish floor
(h)Rigid frame at endwall

Reactions for seismic represent shear force, Eh
Reaction values shown are unfactored



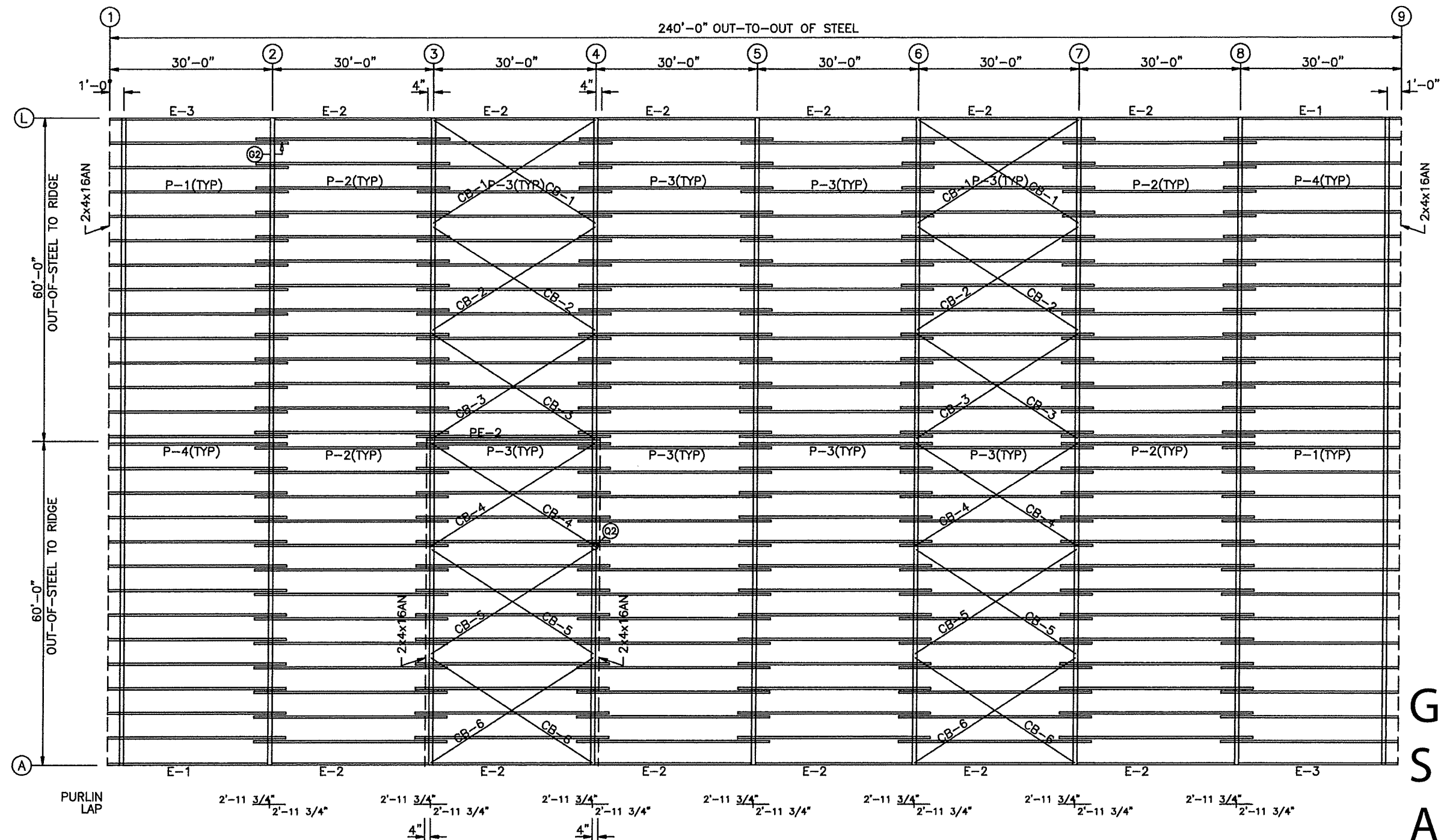
STEEL BUILDING SYSTEMS INC.

REVISIONS		CUSTOMER: HAWK CONSTRUCTION	
[1]		JOB NO: 25-03-119	DATE: 3/20/25
[2]		LOCATION: METTER, GA	
[3]		DRAWING NAME: ANCHOR BOLT REACTIONS	SCALE: NONE
[4]		DRAWING NO: PAGE 1.2	DRAWN BY: MS CHECKED BY:

STRUCTURAL STAMP



GLEN S. ASHLEY
Digitally signed by GLEN S. ASHLEY
Date: 2025.03.24 06:03:31 -04'00'



ROOF FRAMING PLAN

MEMBER TABLE ROOF PLAN		
MARK	PART	LENGTH
PE-2	10ES14@1	29'-11 1/2"
P-1	10x25Z14	32'-11 1/2"
P-2	10x25Z14	35'-11 1/2"
P-3	10x25Z16	35'-11 1/2"
P-4	10x25Z14	32'-11 1/2"
E-1	10ES14@1	29'-11 1/2"
E-2	10ES14@1	29'-11 1/2"
E-3	10ES14@1	29'-11 1/2"
CB-1	1/4 CBL	35'-2 9/16"
CB-2	1/4 CBL	35'-5 7/8"
CB-3	1/4 CBL	35'-8"
CB-4	1/4 CBL	35'-5 1/8"
CB-5	1/4 CBL	35'-7 5/16"
CB-6	1/4 CBL	35'-3 15/16"

REVISIONS		CUSTOMER: HAWK CONSTRUCTION	
[1]		JOB NO: 25-03-119	DATE: 3/20/25
[2]		LOCATION: METTER, GA	
[3]		DRAWING NAME: ROOF FRAMING LAYOUT	SCALE: NONE
[4]		DRAWING NO: PAGE 2	DRAWN BY: MS CHECKED BY:

GLEN S ASHLEY
 Digitally signed by
 GLEN S ASHLEY
 Date: 2025.03.24 06:03:02 -04'00'

STRUCTURAL STAMP

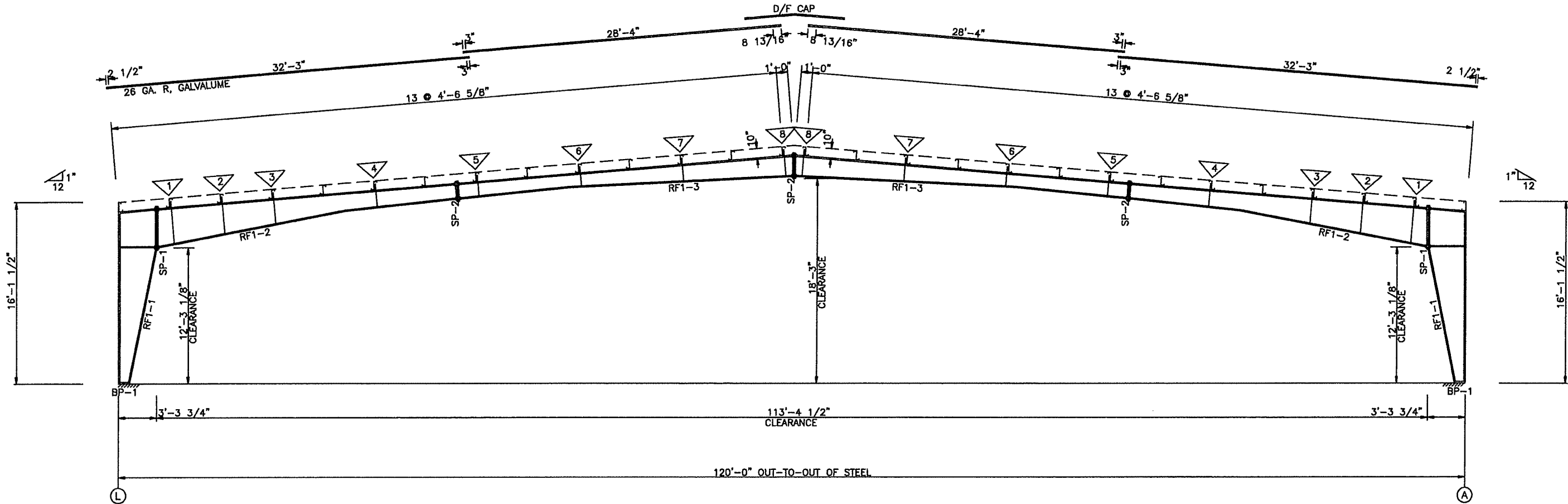


SPLICE BOLT TABLE						
MARK	QTY	TOP	BOT	INT	TYPE	LENGTH
SP-1	4	4	0	0	A325 3/4"	2 1/2"
SP-2	4	4	0	0	A325 5/8"	2 1/2"

BASE PLATE TABLE			
COL	MARK	PLATE SIZE	LENGTH
		WIDTH THICK	
BP-1		6" 1/2" 9 1/2"	

FLANGE BRACE TABLE			
FRAME LINE 1 9			
∇ ID	SIDES	MARK	LENGTH
1	1	FB24	3'-10 13/16"
2	1	FB22	3'-5 15/16"
3	1	FB17	3'-1 7/16"
4	1	FB4	2'-7 5/16"
5	1	FB2	2'-6 15/16"
6	1	FB1	2'-6 5/16"
7	1	FB3	2'-7 1/4"
8	1	FB7	2'-9 1/2"

MEMBER TABLE							
MARK	WEB DEPTH		WEB PLATE		OUTSIDE FLANGE		INSIDE FLANGE
	START/END	THICK	LENGTH		W x THK x LENGTH		W x THK x LENGTH
RF1-1	8.8/39.0	0.188	11'-10 5/8"		6 x 1/4" x 15'-2 11/16"		6 x 1/2" x 12'-1 11/16"
RF1-2	39.0/39.0	0.250	3'-7 3/8"		6 x 1/4" x 3'-3 3/8"		6 x 3/8" x 17'-0 3/4"
	39.0/30.0	0.188	6'-11 5/8"		6 x 1/4" x 20'-0"		6 x 3/8" x 10'-0"
	30.0/17.0	0.135	10'-0"		6 x 1/4" x 6'-8 5/16"		
RF1-3	17.0/14.0	0.135	10'-0"				
	14.0/12.0	0.135	10'-0"		6 x 5/16" x 20'-0"		6 x 1/4" x 10'-0"
	12.0/18.0	0.135	14'-10"		6 x 5/16" x 10'-0"		6 x 1/4" x 19'-10 7/16"
	18.0/20.0	0.135	5'-2"				



RIGID FRAME ELEVATION: FRAME LINE 1 9

GLEN
S
ASHLEY
Digitally signed by
GLEN S
ASHLEY
Date:
2025.03.24
06:02:41
-04'00'

STEEL BUILDING SYSTEMS INC.

REVISIONS	CUSTOMER: HAWK CONSTRUCTION		
[1]	JOB NO: 25-03-119	DATE: 3/20/25	
[2]	LOCATION: METTER, GA		
[3]	DRAWING NAME: RIGID FRAME CROSS SECTION	SCALE: NONE	
[4]	DRAWING NO: PAGE 2.1	DRAWN BY: MS	CHECKED BY:

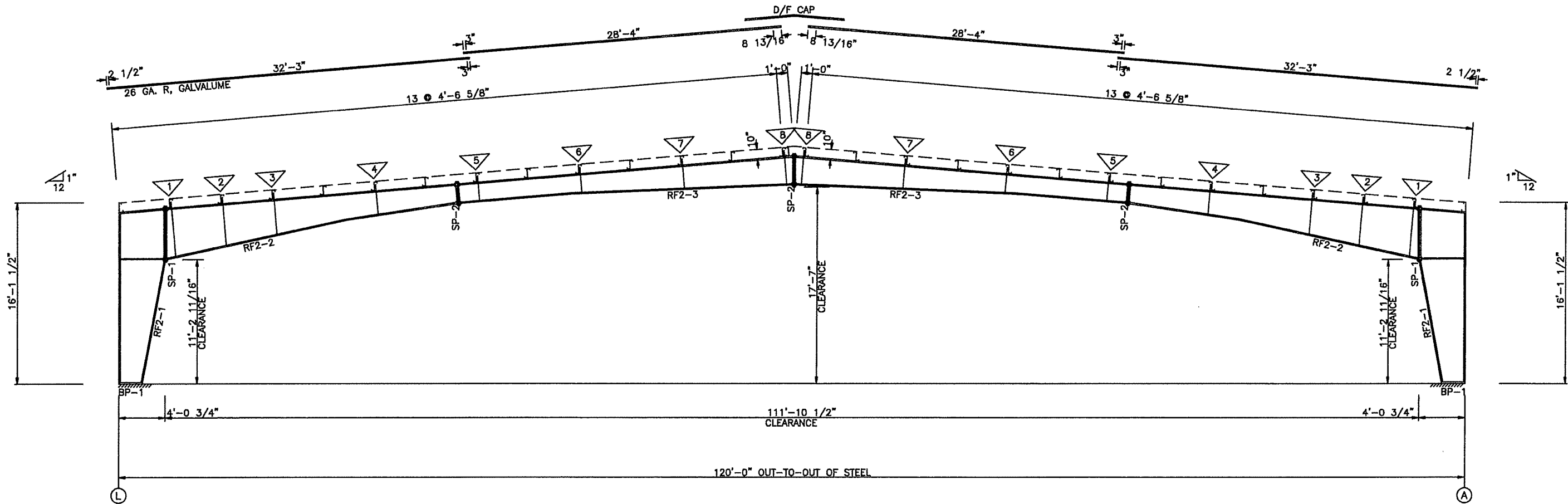
STRUCTURAL STAMP

SPlice Bolt Table						
MARK	QTY	TOP	BOT	INT	TYPE	DIA
SP-1	4	4	0	0	A325	7/8"
SP-2	4	4	0	0	A325	5/8"

BASE PLATE TABLE			
COL	PLATE SIZE	WIDTH	THICK
BP-1	8" x 1/2" x 1'-10 3/4"		

FLANGE BRACE TABLE			
FRAME LINE	2	5	8
▽ ID	SIDES	MARK	LENGTH
1	2	FB26	5'-4 13/16"
2	2	FB25	4'-11"
3	2	FB23	3'-10 1/16"
4	2	FB15	3'-0 5/16"
5	2	FB5	2'-8 7/16"
6	2	FB6	2'-8 3/4"
7	2	FB14	2'-11 13/16"
8	2	FB19	3'-3 3/16"

MEMBER TABLE							
MARK	WEB DEPTH	WEB PLATE THICK	LENGTH	OUTSIDE FLANGE W x THK x LENGTH	INSIDE FLANGE W x THK x LENGTH		
RF2-1	22.0/48.0	0.188	10'-9 3/4"	8 x 1/4" x 15'-2 11/16"	8 x 1/2" x 11'-0 1/4"		
RF2-2	48.0/48.0	0.250	4'-9"	6 x 1/4" x 4'-0 3/8"	6 x 1/2" x 16'-5 3/8"		
RF2-3	52.0/41.9	0.250	6'-3 5/8"	6 x 1/4" x 20'-0 3/8"	6 x 1/2" x 10'-0 3/16"		
	41.9/26.0	0.188	10'-0"	6 x 1/4" x 5'-11 5/16"			
	26.0/18.0	0.135	10'-0"				
	18.0/18.0	0.135	10'-0"	6 x 5/16" x 9'-8"	6 x 1/4" x 10'-0"		
	18.0/25.5	0.135	14'-10"	6 x 3/8" x 19'-4"	6 x 1/4" x 19'-9 7/8"		
	25.5/28.0	0.135	5'-2"	6 x 3/8" x 1'-0"			



RIGID FRAME ELEVATION: FRAME LINE 2 5 8

GLEN
S
ASHLEY
Digitally signed by GLEN S ASHLEY
Date: 2025.03.24 06:02:25 -04'00'

<div>SBS</div> <div>STEEL BUILDING SYSTEMS INC.</div>			
REVISIONS	CUSTOMER: HAWK CONSTRUCTION		
[1]	JOB NO: 25-03-119	DATE: 3/20/25	
[2]	LOCATION: METTER, GA		
[3]	DRAWING NAME: RIGID FRAME CROSS SECTION	SCALE: NONE	
[4]	DRAWING NO: PAGE 2.2	DRAWN BY: MS	CHECKED BY:

STRUCTURAL STAMP

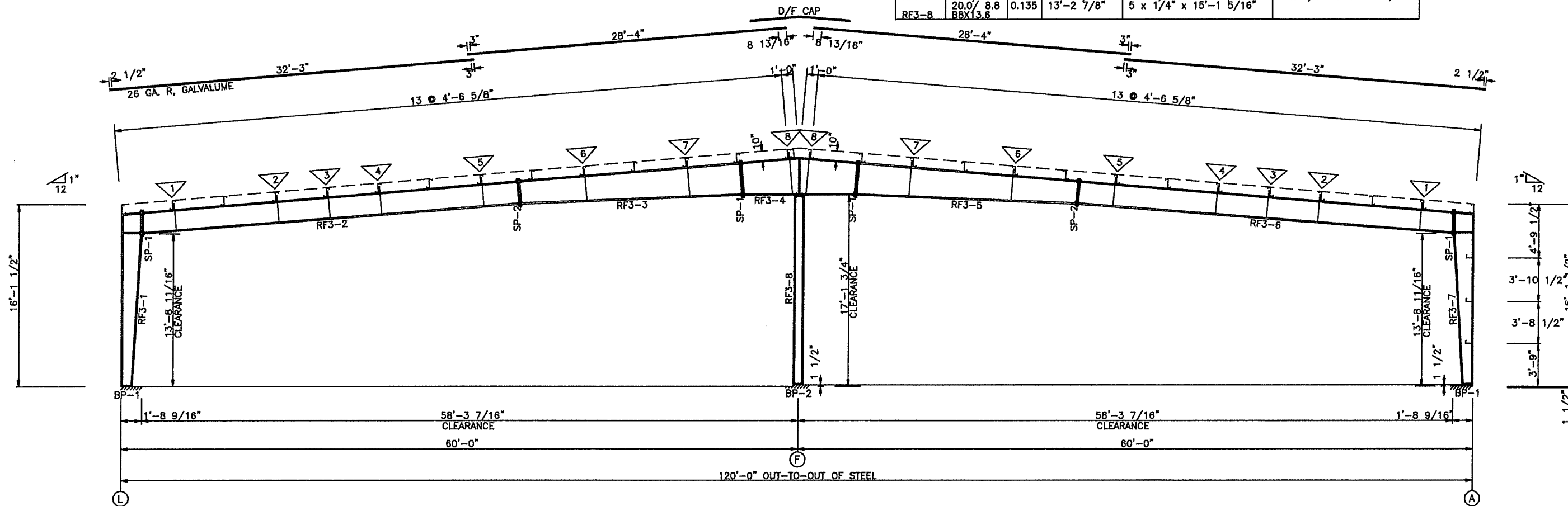


SPLICE BOLT TABLE						CAP PLATE BOLTS				
MARK	QTY	TOP	BOT	INT	TYPE	DIA	LENGTH	MARK	QTY	TYPE
SP-1	4	4	0	A325	5/8"	2 1/2"		RF3-8	4	A325
SP-2	4	4	0	A325	3/4"	2 1/2"				

BASE PLATE TABLE			
COL MARK	PLATE SIZE	WIDTH	THICK
BP-1	6" x 3/8" x 9 5/16"		
BP-2	6" x 1/2" x 8"		

FLANGE BRACE TABLE			
FRAME LINE 3			
▽ ID	SIDES	MARK	LENGTH
1	1	FB8	2'-9 13/16"
2	1	FB9	2'-10 3/16"
3	1	FB11	2'-10 1/2"
4	1	FB12	2'-10 11/16"
5	1	FB13	2'-11 1/16"
6	1	FB16	3'-1 3/16"
7	1	FB21	3'-4 5/8"
8	1	FB23	3'-10 1/16"

MEMBER TABLE								
MARK	WEB DEPTH		WEB THICK	PLATE LENGTH	OUTSIDE FLANGE		INSIDE FLANGE	
	START	END			W x THK x LENGTH	W x THK x LENGTH		
RF3-1	8.8/20.0	0.135	13'-4 3/8"		5 x 1/4" x 15'-2 13/16"	5 x 5/16" x 13'-4 3/4"		
	20.0/20.0	0.188	2'-0 1/8"		5 x 1/4" x 1'-8 5/16"			
	20.0/20.9	0.135	14'-10"		5 x 1/4" x 8'-0 9/16"	5 x 1/4" x 8'-2 1/4"		
	20.9/21.8	0.135	14'-10"		5 x 5/16" x 5'-0"	5 x 5/16" x 5'-0"		
RF3-2	21.8/22.0	0.135	3'-10 1/4"		5 x 1/2" x 19'-4"	5 x 3/8" x 19'-4"		
					5 x 1/2" x 1'-0"	5 x 3/8" x 1'-0"		
						5 x 5/16" x 19'-7 13/16"		
RF3-3	22.0/29.5	0.135	14'-10"		5 x 3/8" x 10'-4"			
	29.5/32.0	0.135	4'-9 5/8"		5 x 1/4" x 9'-3 5/8"			
RF3-4	32.1/37.1	0.188	10'-4 1/2"		6 x 1/4" x 5'-2 7/16"	6 x 5/16" x 4'-7 9/16"		
					6 x 1/4" x 5'-2 7/16"	6 x 5/16" x 4'-7 9/16"		
RF3-5	32.0/29.5	0.135	4'-9 5/8"		5 x 1/4" x 9'-3 5/8"	5 x 5/16" x 19'-7 13/16"		
	29.5/22.0	0.135	14'-10"		5 x 3/8" x 10'-4"			
RF3-6	22.0/21.8	0.135	3'-10 1/4"		5 x 1/2" x 1'-0"	5 x 3/8" x 1'-0"		
	21.8/20.9	0.135	14'-10"		5 x 1/2" x 19'-4"	5 x 3/8" x 19'-4"		
	20.9/20.0	0.135	14'-10"		5 x 5/16" x 5'-0"	5 x 5/16" x 5'-0"		
					5 x 1/4" x 8'-0 9/16"	5 x 1/4" x 8'-2 1/4"		
RF3-7	20.0/20.0	0.188	2'-0 1/8"		5 x 1/4" x 8'-0 9/16"	5 x 5/16" x 13'-3 1/4"		
	20.0/8.8	0.135	13'-2 7/8"		5 x 1/4" x 15'-1 5/16"			
RF3-8	BBX 3.6							



RIGID FRAME ELEVATION: FRAME LINE 3

GLEN
S
ASHLEY
Digitally signed by
GLEN S
ASHLEY
Date:
2025.03.24
06:02:02
-04'00'

SBS			
STEEL BUILDING SYSTEMS INC.			
REVISIONS	CUSTOMER: HAWK CONSTRUCTION		
[1]	JOB NO: 25-03-119	DATE: 3/20/25	
[2]	LOCATION: METTER, GA		
[3]	DRAWING NAME: RIGID FRAME CROSS SECTION	SCALE: NONE	
[4]	DRAWING NO: PAGE 2.3	DRAWN BY: MS	CHECKED BY:

STRUCTURAL STAMP

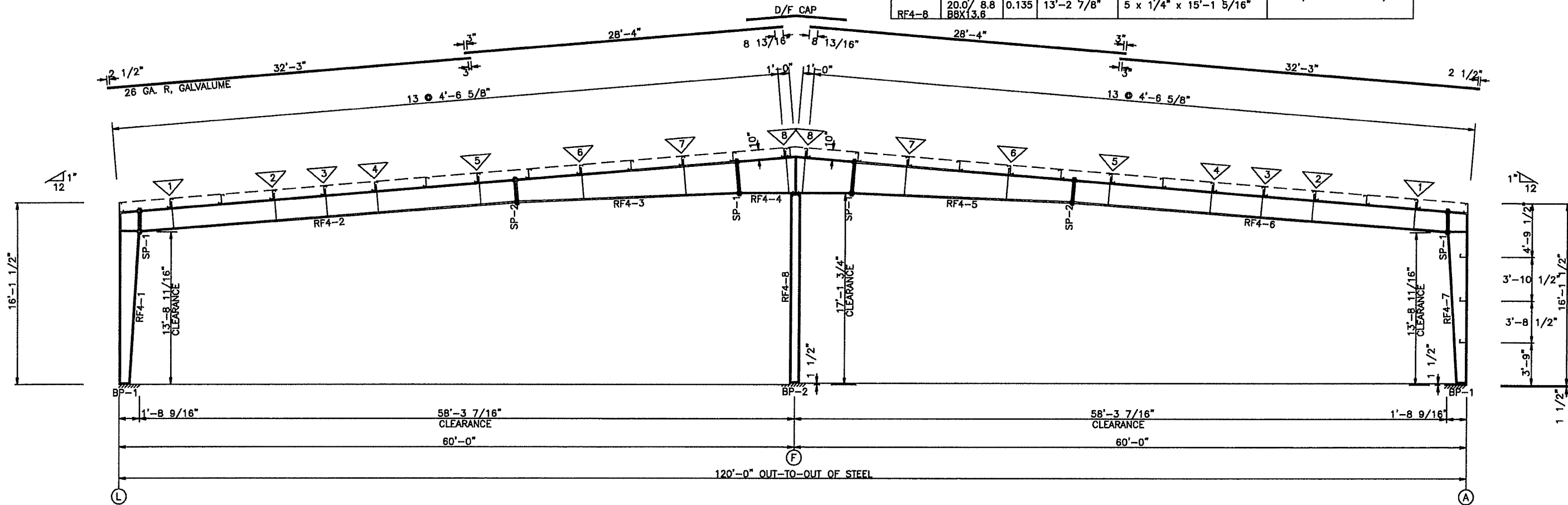


SPlice Bolt Table						CAP PLATE BOLTS				
MARK	QTY	TOP	BOT	INT	TYPE	DIA	LENGTH	MARK	QTY	TYPE
SP-1	4	4	0		A325	5/8"	2 1/2"	RF4-8	4	A325
SP-2	4	4	0		A325	3/4"	2 1/2"			

BASE PLATE TABLE			
COL MARK	WIDTH	THICK	LENGTH
BP-1	6"	3/8"	9 5/16"
BP-2	6"	1/2"	8"

FLANGE BRACE TABLE			
FRAME LINE 4			
▽ ID	#	MARK	LENGTH
1	1	FB8	2'-9 13/16"
2	1	FB9	2'-10 3/16"
3	1	FB11	2'-10 1/2"
4	1	FB12	2'-10 1/2"
5	1	FB13	2'-11 1/16"
6	1	FB16	3'-1 3/8"
7	1	FB21	3'-4 5/8"
8	1	FB23	3'-10 1/16"

MEMBER TABLE			
MARK	WEB DEPTH	WEB PLATE	OUTSIDE FLANGE
	START/END	THICK	W x THK x LENGTH
RF4-1	8.8/20.0	0.135	13'-4 3/8"
RF4-2	20.0/20.0	0.188	2'-0 1/8"
RF4-3	20.0/20.9	0.135	14'-10"
RF4-4	20.9/21.8	0.135	14'-10"
RF4-5	21.8/22.0	0.135	3'-10 1/4"
RF4-6	22.0/29.5	0.135	14'-10"
RF4-7	29.5/32.0	0.135	4'-9 5/8"
RF4-8	32.1/37.1	0.188	10'-4 1/2"
RF4-9	32.0/29.5	0.135	4'-9 5/8"
RF4-10	29.5/22.0	0.135	14'-10"
RF4-11	22.0/21.8	0.135	3'-10 1/4"
RF4-12	21.8/20.9	0.135	14'-10"
RF4-13	20.9/20.0	0.135	14'-10"
RF4-14	20.0/20.0	0.188	2'-0 1/8"
RF4-15	20.0/8.8	0.135	13'-2 7/8"
RF4-16	BBX13.6		



RIGID FRAME ELEVATION: FRAME LINE 4

GLEN
S
ASHLEY
Y

Digitally
signed by
GLEN S
ASHLEY
Date:
2025.03.24
06:01:47
-04'00'

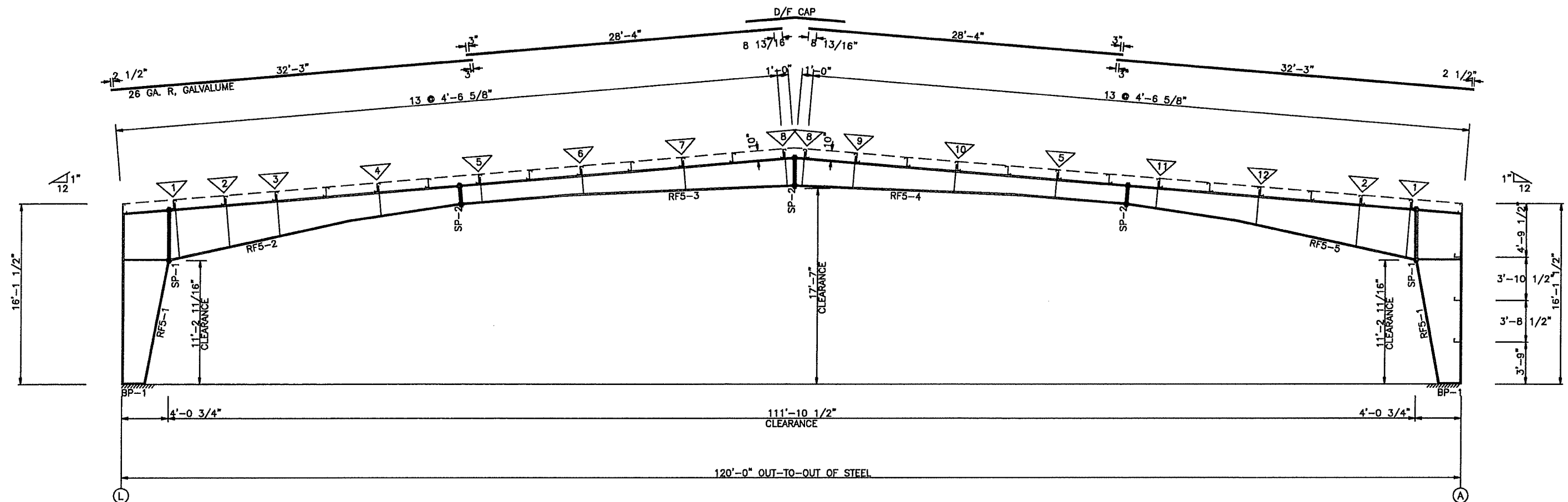
REVISIONS	CUSTOMER: HAWK CONSTRUCTION	
[1]	JOB NO: 25-03-119	DATE: 3/20/25
[2]	LOCATION: METTER, GA	
[3]	DRAWING NAME: RIGID FRAME CROSS SECTION	SCALE: NONE
[4]	DRAWING NO: PAGE 2.4	DRAWN BY: MS

STRUCTURAL STAMP

BASE PLATE TABLE			
COL MARK	PLATE SIZE		
	WIDTH	THICK	LENGTH
BP-1	8"	1/2"	1'-10 3/4"



V ID	# SIDES	MARK	LENGTH
1	2	FB28	5'-4 13/16"
2	2	FB25	3'-11"
3	2	FB23	3'-10 1/16"
4	2	FB15	2'-0 5/16"
5	2	FB5	2'-8 7/16"
6	2	F86	2'-8 3/4"
7	2	FB14	2'-11 13/16"
8	2	FB19	3'-3 3/16"
9	2	FB18	3'-1 1/2"
10	2	FB10	2'-10 1/4"
11	2	FB8	2'-9 13/16"
12	2	FB20	3'-4 3/16"

MEMBER TABLE					
MARK	WEB DEPTH	WEB	PLATE	OUTSIDE FLANGE	INSIDE FLANGE
	START/END	THICK	LENGTH	W x THK x LENGTH	W x THK x LENGTH
RF5-1	22.0/48.0	0.188	4'-9 3/4"	6 x 1/4" x 15'-2 11/16"	6 x 1/2" x 11'-0 1/4"
	48.0/48.0	0.250	4'-9 3/4"	6 x 1/4" x 4'-0 3/8"	
RF5-2	52.0/41.9	0.250	6'-3 5/8"	6 x 1/4" x 20'-0"	6 x 1/2" x 16'-5 3/8"
	41.9/26.0	0.188	10'-0"	6 x 1/4" x 5'-11 5/16"	6 x 1/2" x 10'-0 3/16"
RF5-3	26.0/18.0	0.135	10'-0"		
	18.0/18.0	0.135	10'-0"	6 x 5/16" x 9'-8"	6 x 1/4" x 10'-0"
RF5-4	18.0/25.5	0.135	14'-10"	6 x 3/8" x 19'-4"	6 x 1/4" x 19'-9 7/8"
	25.5/28.0	0.135	5'-2"	6 x 3/8" x 1'-0"	
RF5-5	28.0/25.5	0.135	5'-2"	6 x 3/8" x 1'-0"	6 x 1/4" x 19'-9 7/8"
	25.5/18.0	0.135	14'-10"	6 x 3/8" x 19'-4"	6 x 1/4" x 10'-0"
RF5-5	18.0/18.0	0.135	10'-0"	6 x 5/16" x 9'-8"	
	18.0/26.0	0.135	10'-0"	6 x 1/4" x 5'-11 5/16"	6 x 1/2" x 10'-0 3/16"
	26.0/41.9	0.188	10'-0"	6 x 1/4" x 20'-0"	6 x 1/2" x 16'-5 3/8"
	41.9/52.0	0.250	6'-3 5/8"		



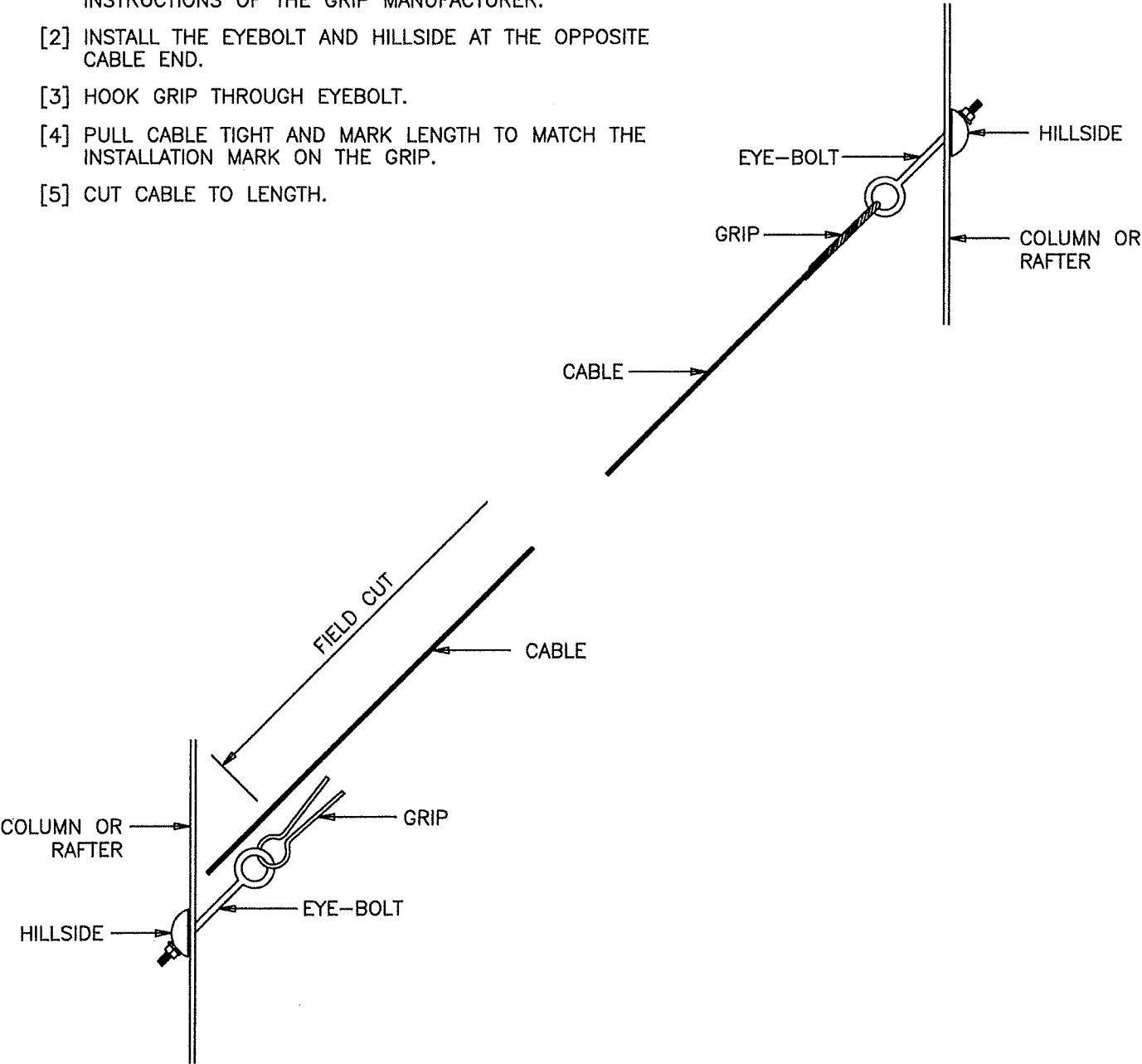
RIGID FRAME ELEVATION: FRAME LINE 6 7

GLEN S ASHLEY Digitally signed by GLEN S ASHLEY
Date: 2025.03.24 06:01:31 -04'00'

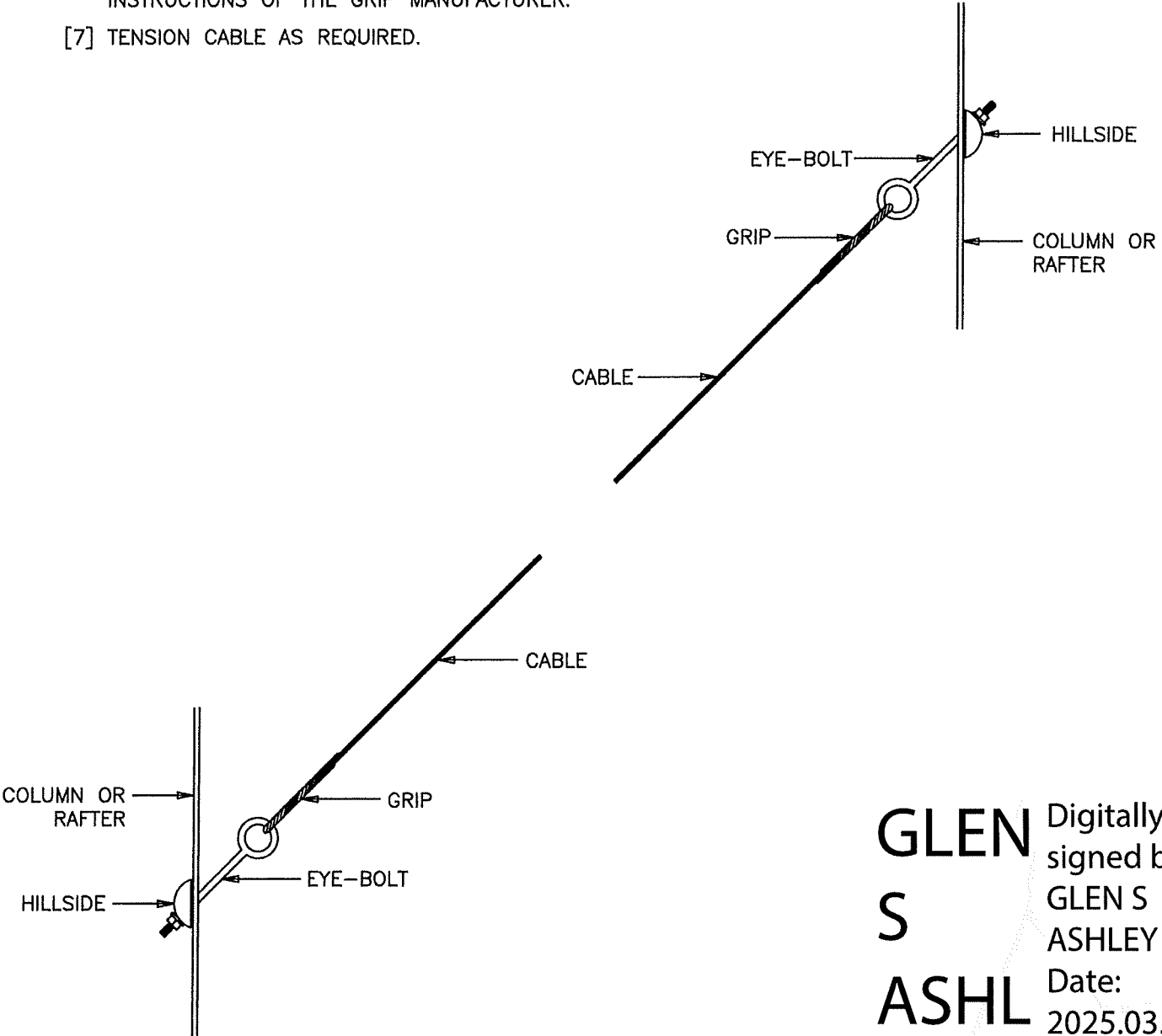
 STEEL BUILDING SYSTEMS INC.				STRUCTURAL STAMP 	
REVISIONS		CUSTOMER: <div style="text-align: center; font-size: 1.2em;">HAWK CONSTRUCTION</div>			
[1]		JOB NO: <div style="text-align: center; font-size: 1.2em;">25-03-119</div>		DATE: <div style="text-align: center; font-size: 1.2em;">3/20/25</div>	
[2]		LOCATION: <div style="text-align: center; font-size: 1.2em;">METTER, GA</div>			
[3]		DRAWING NAME: <div style="text-align: center; font-size: 1.2em;">RIGID FRAME CROSS SECTION</div>		SCALE: <div style="text-align: center; font-size: 1.2em;">NONE</div>	
[4]		DRAWING NO: <div style="text-align: center; font-size: 1.2em;">PAGE 2.5</div>		DRAWN BY: <div style="text-align: center; font-size: 1.2em;">MS</div>	
		CHECKED BY:			

SBS SUPPLIES CABLES CUT TO THE NEAREST FOOT LONGER THAN THE REQUIRED LENGTH. FOLLOW THESE INSTRUCTIONS FOR CABLE INSTALLATION.

- [1] INSTALL ONE END OF THE CABLE FOLLOWING THE INSTRUCTIONS OF THE GRIP MANUFACTURER.
- [2] INSTALL THE EYEBOLT AND HILLSIDE AT THE OPPOSITE CABLE END.
- [3] HOOK GRIP THROUGH EYEBOLT.
- [4] PULL CABLE TIGHT AND MARK LENGTH TO MATCH THE INSTALLATION MARK ON THE GRIP.
- [5] CUT CABLE TO LENGTH.



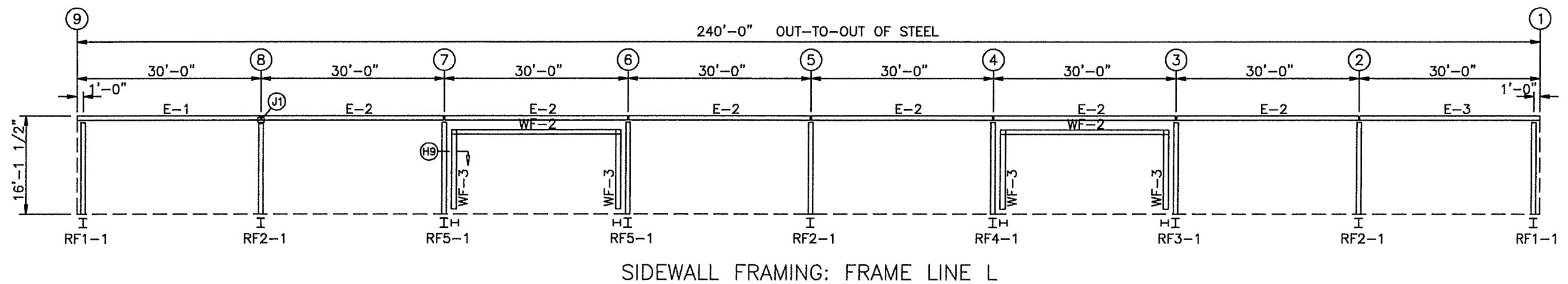
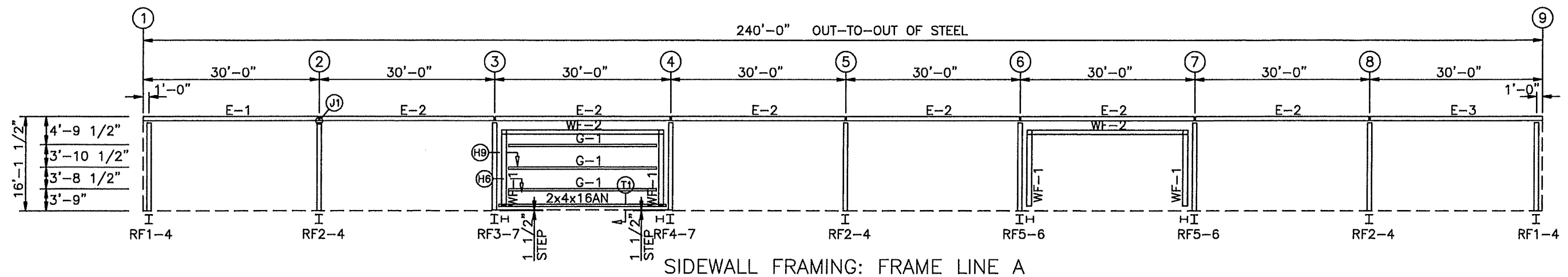
- [6] INSTALL CUT END OF THE CABLE FOLLOWING THE INSTRUCTIONS OF THE GRIP MANUFACTURER.
- [7] TENSION CABLE AS REQUIRED.



GLEN S ASHLEY Digitally signed by GLEN S ASHLEY
Date: 2025.03.24 06:01:14 -04'00'

STEEL BUILDING SYSTEMS INC.			
REVISIONS	CUSTOMER: HAWK CONSTRUCTION		
[1]	JOB NO: 25-03-119	DATE: 3/20/25	
[2]	LOCATION: METTER, GA		
[3]	DRAWING NAME: CABLE BRACING DETAILS	SCALE: NONE	
[4]	DRAWING NO: PAGE 2.6	DRAWN BY: MS	CHECKED BY:







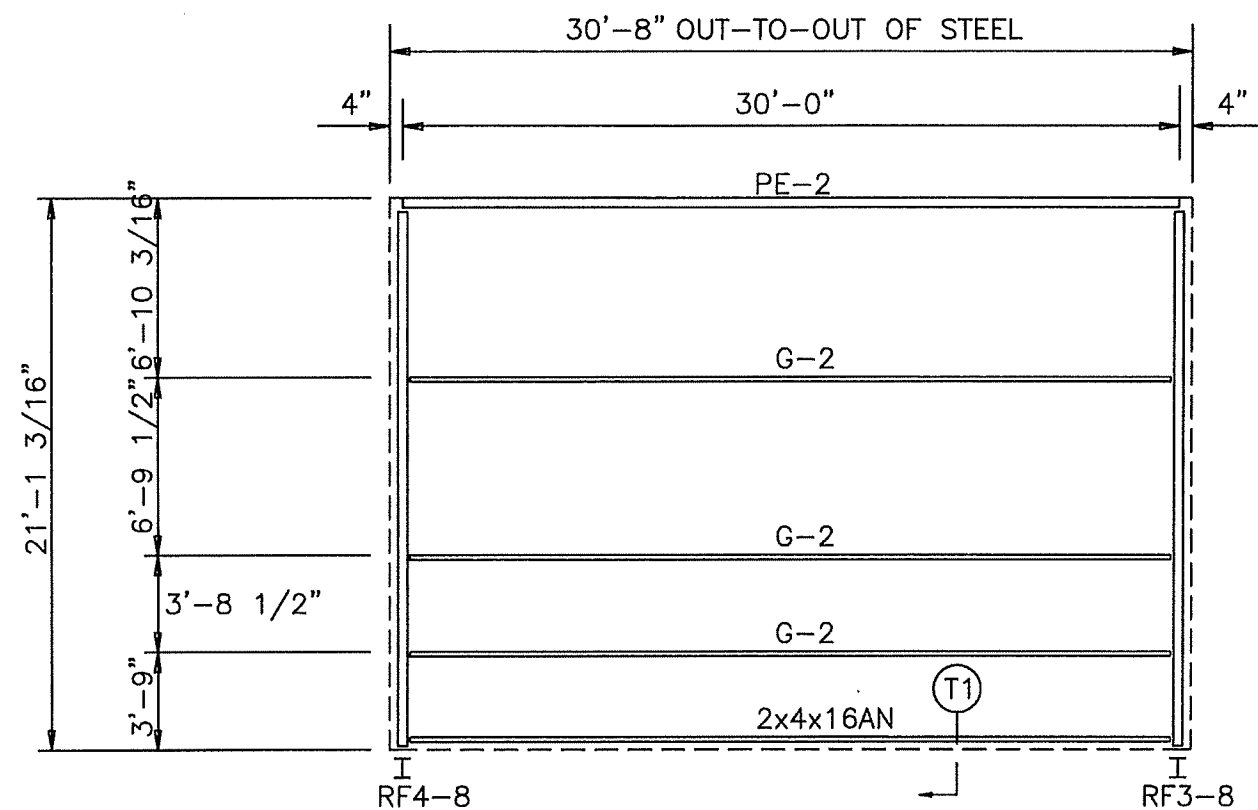
BOLT TABLE FRAME LINE A & L				
LOCATION	QUAN	TYPE	DIA	LENGTH
WF-1 - WF-2	8	A325	3/4"	2 1/2"
WF-1 - RF3-7	12	A325	5/8"	2 1/2"
WF-1 - RF4-7	12	A325	5/8"	2 1/2"
WF-1 - RF5-6	12	A325	5/8"	2 1/2"
WF-3 - WF-2	8	A325	3/4"	2 1/2"
WF-3 - RF5-1	12	A325	5/8"	2 1/2"
WF-3 - RF4-1	12	A325	5/8"	2 1/2"
WF-3 - RF3-1	12	A325	5/8"	2 1/2"

MEMBER TABLE FRAME LINE A & L		
MARK	PART	LENGTH
WF-1	B10X12.9	14'-3 1/2"
WF-2	B8X17	28'-3"
WF-3	B10X12.9	14'-3 1/2"
E-1	10ES14@1	29'-11 1/2"
E-2	10ES14@1	29'-11 1/2"
E-3	10ES14@1	29'-11 1/2"
G-1	8x25Z14	28'-3 1/4"

GLEN S ASHLEY

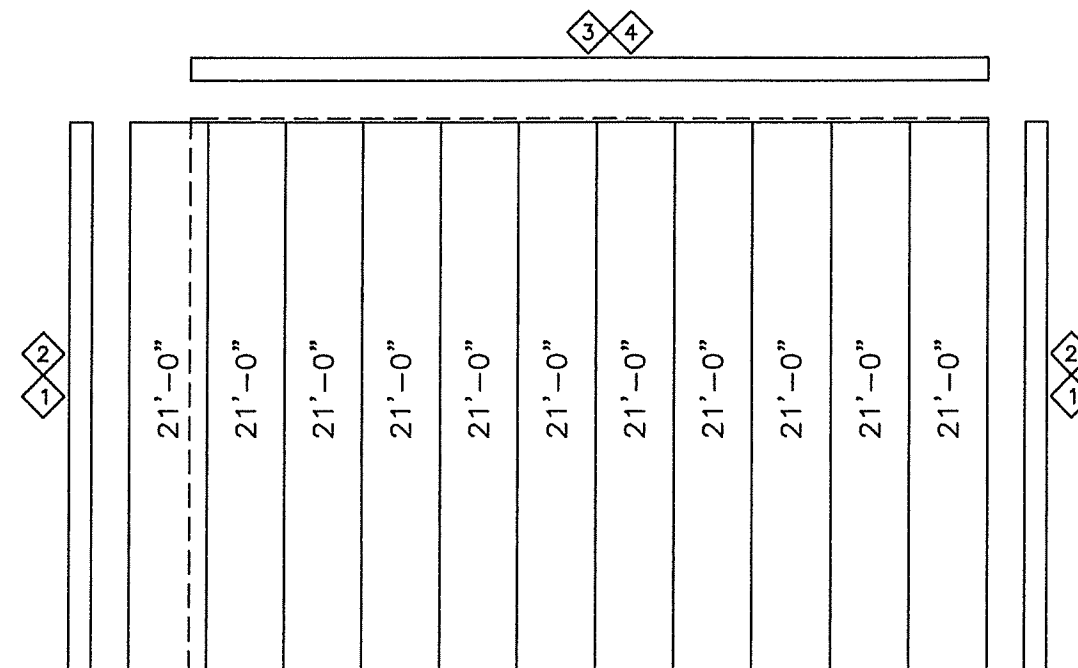
Digitally signed by GLEN S ASHLEY
Date: 2025.03.24 06:00:40 -04'00'

 STEEL BUILDING SYSTEMS INC.				STRUCTURAL STAMP 	
REVISIONS		CUSTOMER: HAWK CONSTRUCTION			
[1]		JOB NO: 25-03-119		DATE: 3/20/25	
[2]		LOCATION: METTER, GA			
[3]		DRAWING NAME: SIDEWALL FRAMING LAYOUT		SCALE: NONE	
[4]		DRAWING NO: PAGE 3		DRAWN BY: MS CHECKED BY:	



PARTITION FRAMING: FRAME LINE G



MEMBER TABLE		
MARK	PART	LENGTH
PE-2	10ES14@1	30'-7 1/2"
G-2	8x25Z16	29'-11 1/2"

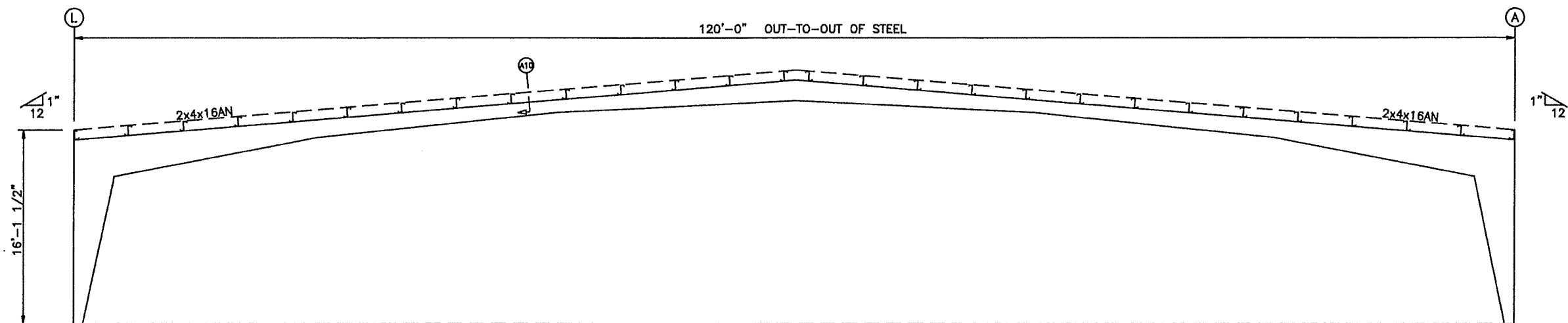


PARTITION SHEETING & TRIM: FRAME LINE G
PANELS: 26 Ga. R - COLONY GREEN

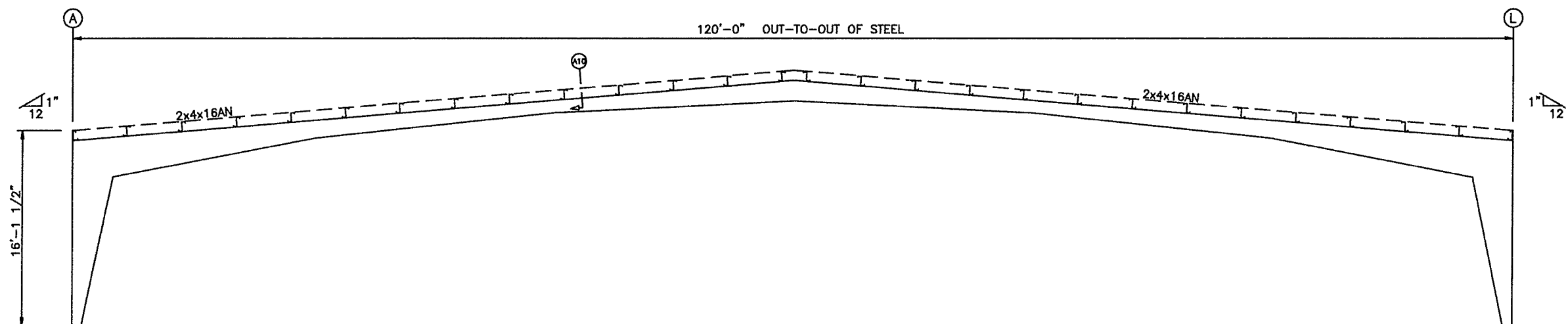
TRIM TABLE		
ID	PART	LENGTH
1	O/S CORN	20'-3"
2	O/S CORN	1'-5"
3	EAVE TRM	20'-3"
4	EAVE TRM	10'-8"

GLEN S ASHLEY Digitally signed by GLEN S ASHLEY
Date: 2025.03.24 06:00:20 -04'00'

 STEEL BUILDING SYSTEMS INC.		STRUCTURAL STAMP	
REVISIONS [1] _____ [2] _____ [3] _____ [4] _____		CUSTOMER: HAWK CONSTRUCTION JOB NO: 25-03-119 DATE: 3/20/25 LOCATION: METTER, GA DRAWING NAME: PARTITION FRAMING, SHEETING & TRIM SCALE: NONE DRAWING NO: PAGE 3.1 DRAWN BY: MS CHECKED BY:	
			



ENDWALL FRAMING: FRAME LINE 1



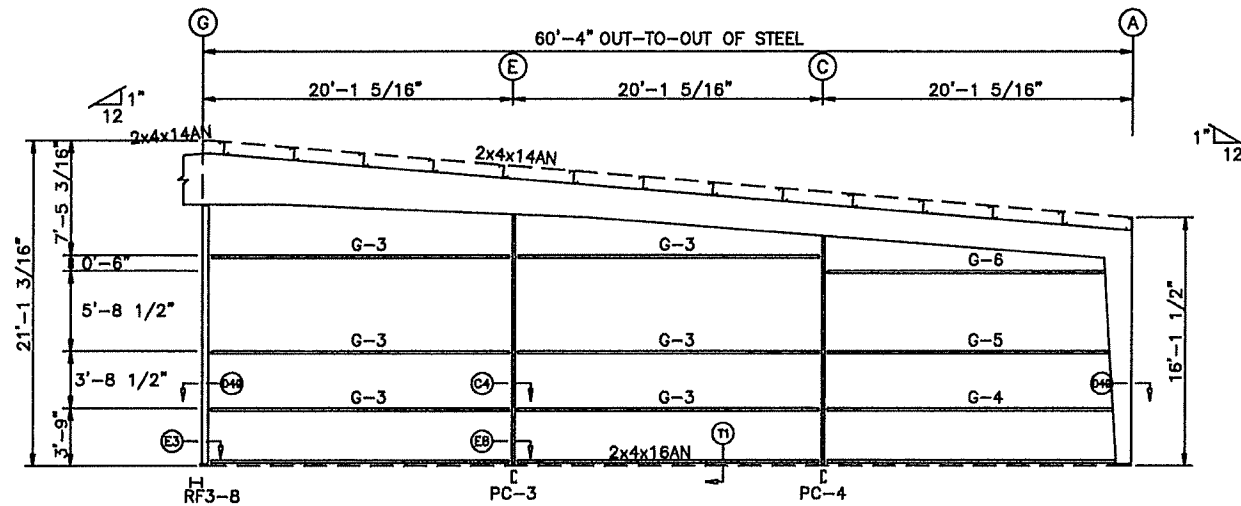
ENDWALL FRAMING: FRAME LINE 9

**GLEN
S
ASHLEY**
Digitally signed by
GLEN S
ASHLEY
Date:
2025.03.24
06:00:03
-04'00'

SBS STEEL BUILDING SYSTEMS INC.			
REVISIONS		CUSTOMER: HAWK CONSTRUCTION	
[1]		JOB NO: 25-03-119	DATE: 3/20/25
[2]		LOCATION: METTER, GA	
[3]		DRAWING NAME: ENDWALL FRAMING LAYOUT	SCALE: NONE
[4]		DRAWING NO: PAGE 4	DRAWN BY: MS CHECKED BY:

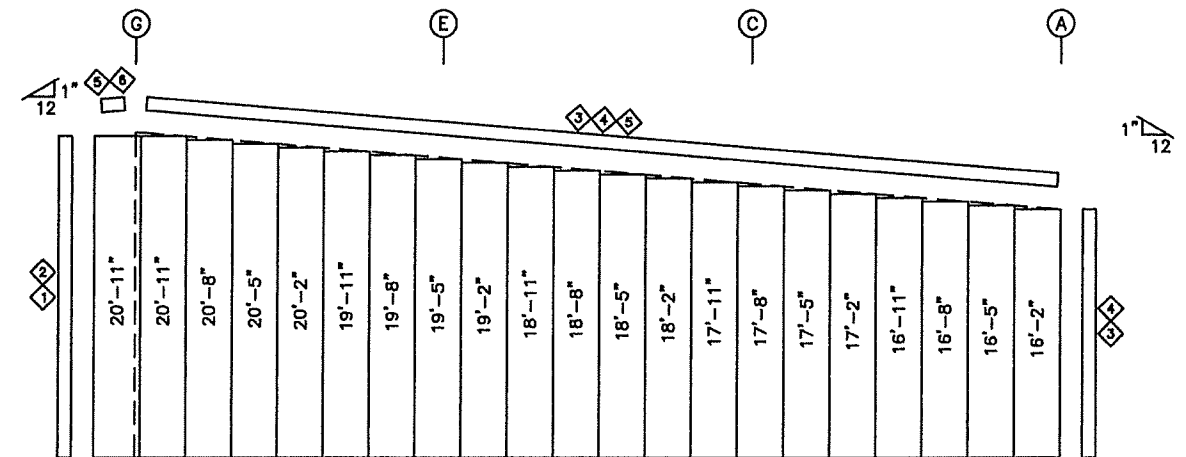
STRUCTURAL STAMP





PARTITION FRAMING AT FRAME LINE 3

MEMBER TABLE		
MARK	PART	LENGTH
PC-3	8X25C16	16'-5"
PC-4	8X25C16	15'-0 1/4"
G-3	8x25Z16	19'-8 13/16"
G-4	8x25Z16	18'-8 1/2"
G-5	8x25Z16	18'-5 5/16"
G-6	8x25Z16	17'-11 7/8"





PARTITION LEFT SHEETING & TRIM AT FRAME LINE 3
PANELS: 26 Ga. R - COLONY GREEN

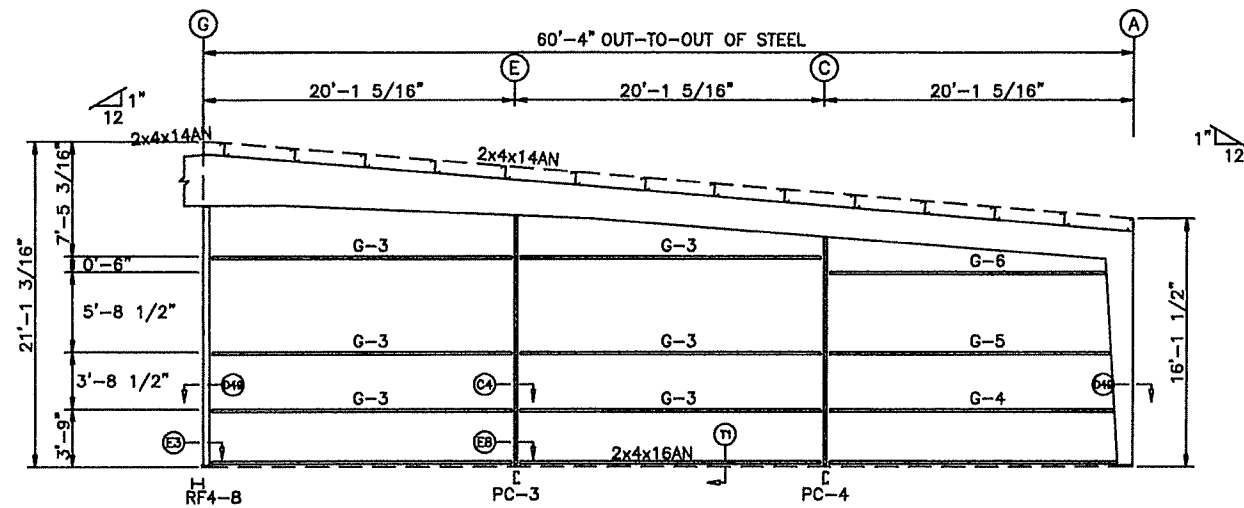
TRIM TABLE		
ID	PART	LENGTH
1	O/S CORN	20'-3"
2	O/S CORN	1'-5"
3	PART-BOT	20'-6"
4	PART-TOP	4'-6 1/2"
5	PART-BOT	1'-6"
6	PART-TOP	1'-6"

* FOR 10" PURLINS.

**GLEN S
ASHLEY**

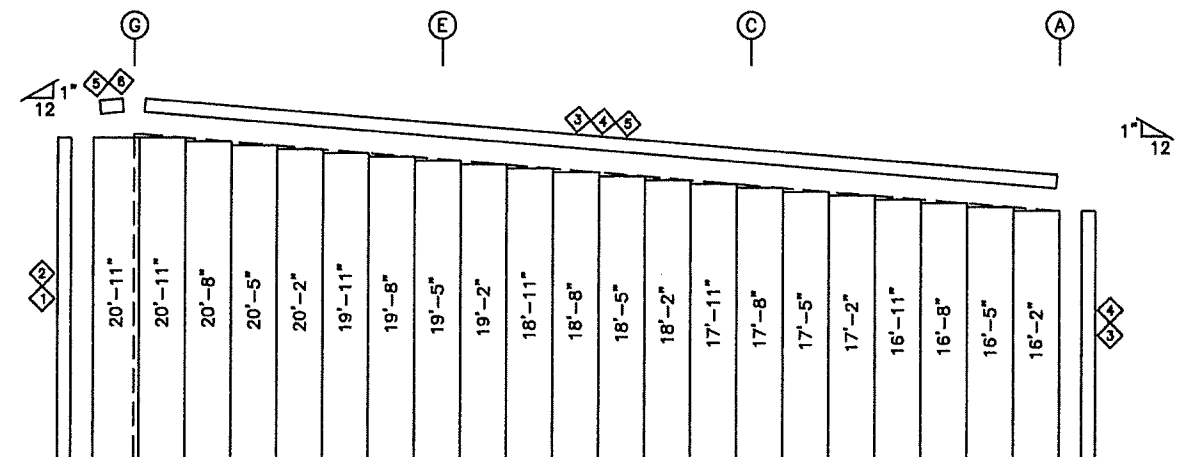
Digitally signed by
GLEN S ASHLEY
Date: 2025.03.24
05:59:24 -04'00'

 STEEL BUILDING SYSTEMS INC.				STRUCTURAL STAMP 	
REVISIONS		CUSTOMER: HAWK CONSTRUCTION			
[1]		JOB NO: 25-03-119		DATE: 3/20/25	
[2]		LOCATION: METTER, GA			
[3]		DRAWING NAME: PARTITION FRAMING, SHEETING & TRIM		SCALE: NONE	
[4]		DRAWING NO: PAGE 4.1		DRAWN BY: MS CHECKED BY:	



PARTITION FRAMING AT FRAME LINE 4

MEMBER TABLE		
MARK	PART	LENGTH
PC-3	8X25C16	16'-5"
PC-4	8X25C16	15'-0 1/4"
G-3	8x25Z16	19'-8 13/16"
G-4	8x25Z16	18'-8 1/2"
G-5	8x25Z16	18'-5 5/16"
G-6	8x25Z16	17'-11 7/8"





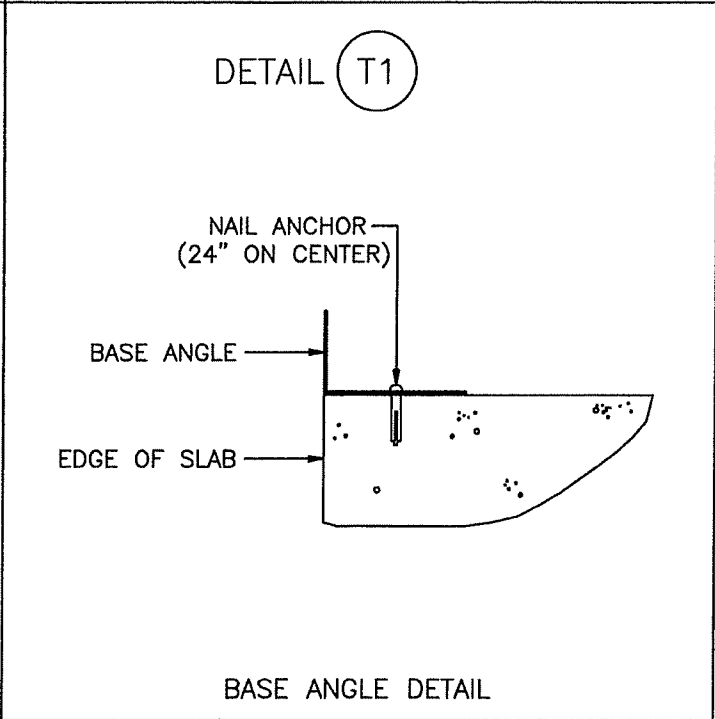
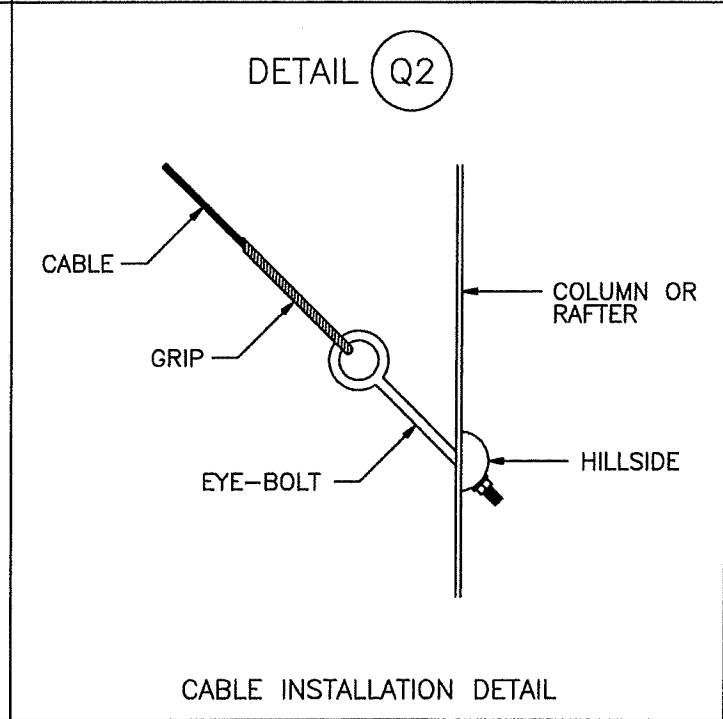
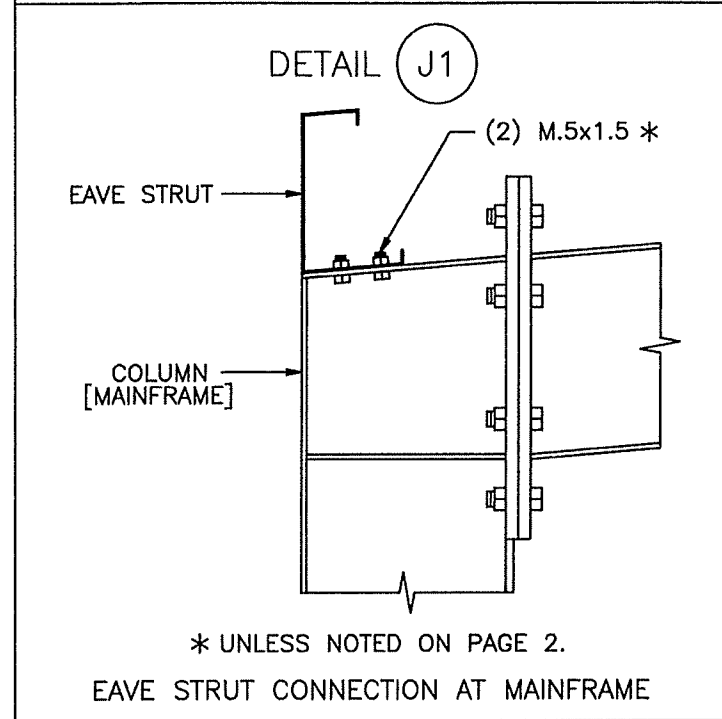
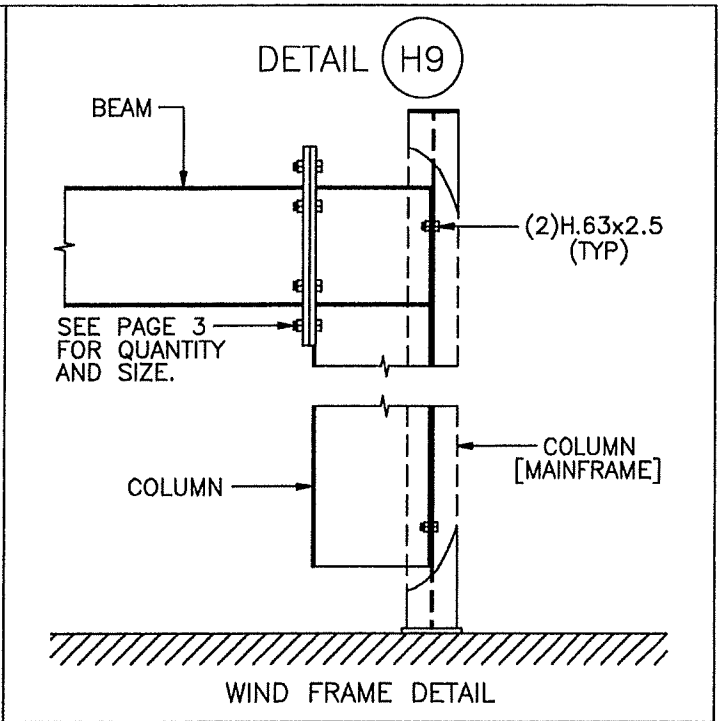
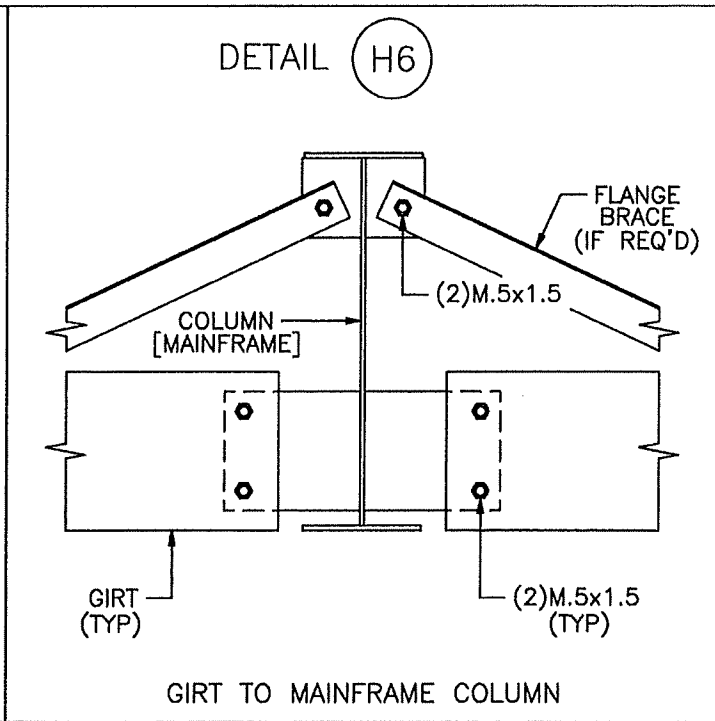
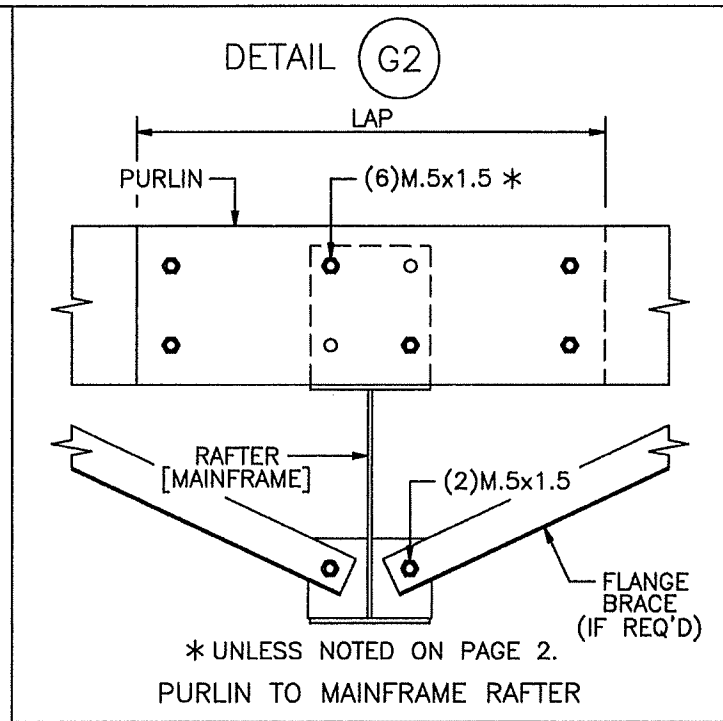
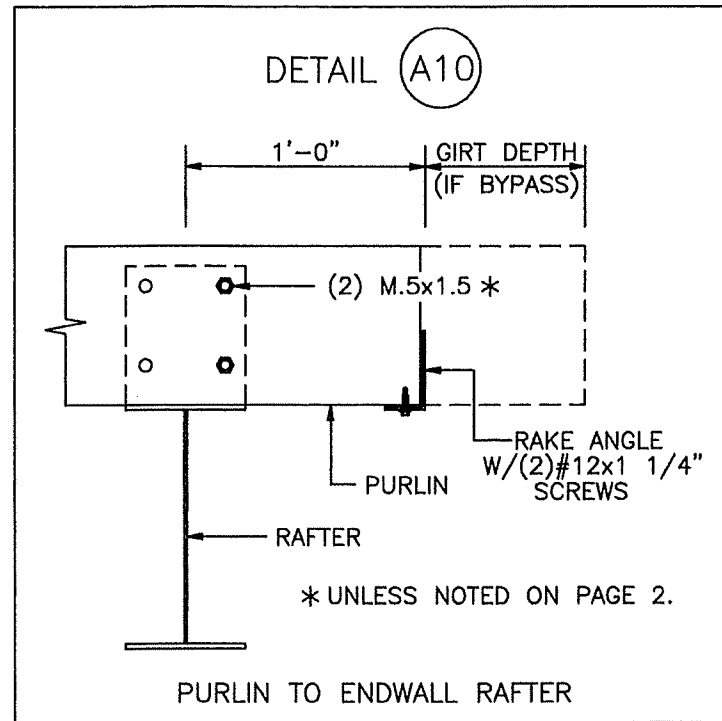
PARTITION RIGHT SHEETING & TRIM AT FRAME LINE 4
PANELS: 26 Ga. R - COLONY GREEN

TRIM TABLE		
ID	PART	LENGTH
1	O/S CORN	20'-3"
2	O/S CORN	1'-5"
3	PART-BOT	20'-6"
4	PART-TOP	4'-6 1/2"
5	PART-BOT	1'-6"
6	PART-TOP	1'-6"



* FOR 10" PURLINS.

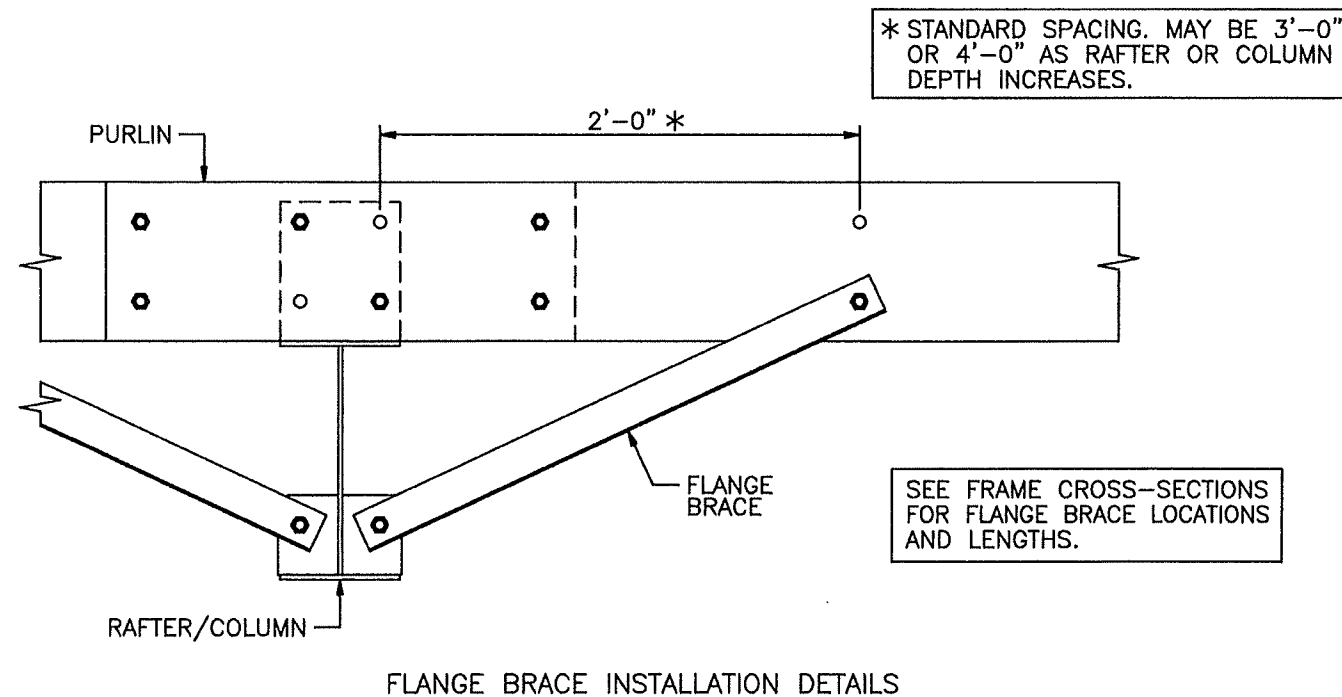
GLEN S ASHLEY Digitally signed by
GLEN S ASHLEY
Date: 2025.03.24 05:59:08 -04'00'

 STEEL BUILDING SYSTEMS INC.				STRUCTURAL STAMP 	
REVISIONS		CUSTOMER: HAWK CONSTRUCTION			
[1]		JOB NO: 25-03-119		DATE: 3/20/25	
[2]		LOCATION: METTER, GA			
[3]		DRAWING NAME: PARTITION FRAMING, SHEETING & TRIM			SCALE: NONE
[4]		DRAWING NO: PAGE 4.2		DRAWN BY: MS	CHECKED BY:



GLEN S ASHLEY Digitally signed by GLEN S ASHLEY
 Date: 2025.03.24 05:58:42 -04'00'

<div> STEEL BUILDING SYSTEMS INC.</div>				<div>STRUCTURAL STAMP</div> <div></div>	
REVISIONS		CUSTOMER: HAWK CONSTRUCTION			
[1]	JOB NO: 25-03-119		DATE: 3/20/25		
[2]	LOCATION: METTER, GA				
[3]	DRAWING NAME: FRAMING DETAILS			SCALE: NONE	
[4]	DRAWING NO: PAGE 5		DRAWN BY: MS		CHECKED BY:



NOTE:

THE PROPER TIGHTENING AND INSPECTION OF ALL FASTENERS IS THE RESPONSIBILITY OF THE ERECTOR. ALL HEAVY STRUCTURAL (A325, A490) BOLTS AND NUTS MUST BE TIGHTENED TO A SNUG-TIGHTENED CONDITION AS SHOWN BELOW. A325 AND A490 BOLTS ARE DESIGNATED BY "SBS" WITH A "H". (ex: H.63x2.0 OR H.75x2.75)



SNUG-TIGHTENED CONDITION:

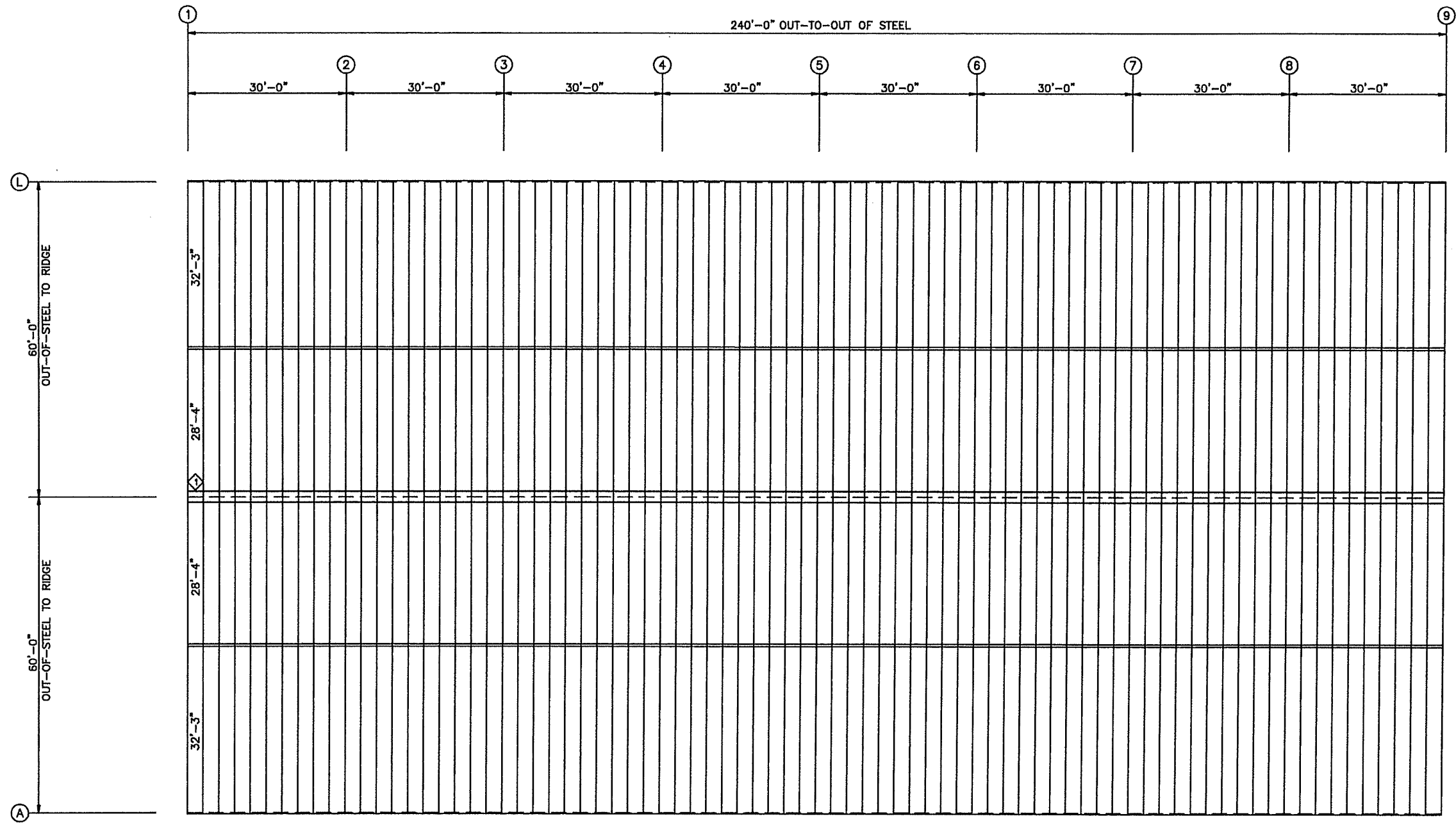
ALL BOLTED JOINTS WITH A325 TYPE 1 BOLTS ARE SPECIFIED AS SNUG-TIGHTENED JOINTS, UNLESS NOTED OTHERWISE, IN ACCORDANCE WITH THE "SPECIFICATION FOR STRUCTURAL JOINTS USING ASTM A325 OR A490 BOLTS, JUNE 30, 2004." PRETENSIONING METHODS, INCLUDING TURN-OF-NUT AND CALIBRATED WRENCH, ARE NOT REQUIRED UNLESS NOTED OTHERWISE.

THE SNUG-TIGHTENED CONDITION IS DEFINED AS "THE TIGHTNESS THAT IS ATTAINED WITH A FEW IMPACTS OF AN IMPACT WRENCH OR THE FULL EFFORT OF AN IRON-WORKER USING AN ORDINARY SPUD WRENCH TO BRING THE PLIES INTO FIRM CONTACT." FIRM CONTACT IS FURTHER DEFINED AS "THE CONDITION WHEN THE PLANES OF CONTACT BETWEEN TWO PLIES ARE SOLIDLY SEATED AGAINST EACH OTHER, BUT NOT NECESSARILY IN CONTINUOUS CONTACT."

**GLEN S
ASHLEY**


Digitally signed by
GLEN S ASHLEY
Date: 2025.03.24
05:58:07 -04'00'

 STEEL BUILDING SYSTEMS INC.				STRUCTURAL STAMP 	
REVISIONS		CUSTOMER: HAWK CONSTRUCTION			
[1]		JOB NO: 25-03-119		DATE: 3/20/25	
[2]		LOCATION: METTER, GA			
[3]		DRAWING NAME: FRAMING DETAILS		SCALE: NONE	
[4]		DRAWING NO: PAGE 5.1		DRAWN BY: MS CHECKED BY:	




ROOF SHEETING PLAN
PANELS: 26 GA. R - GALVALUME

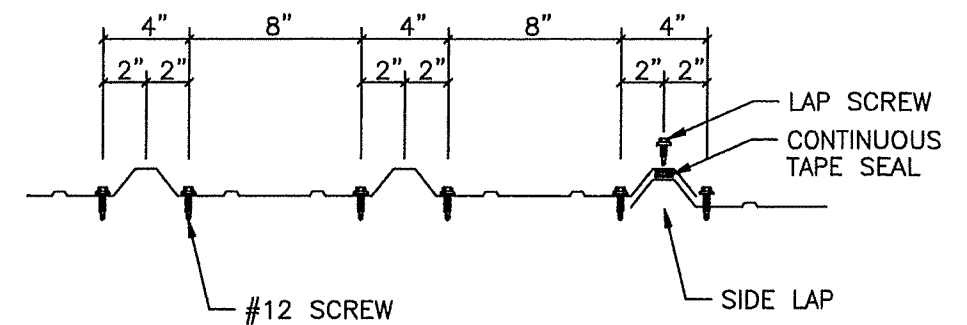
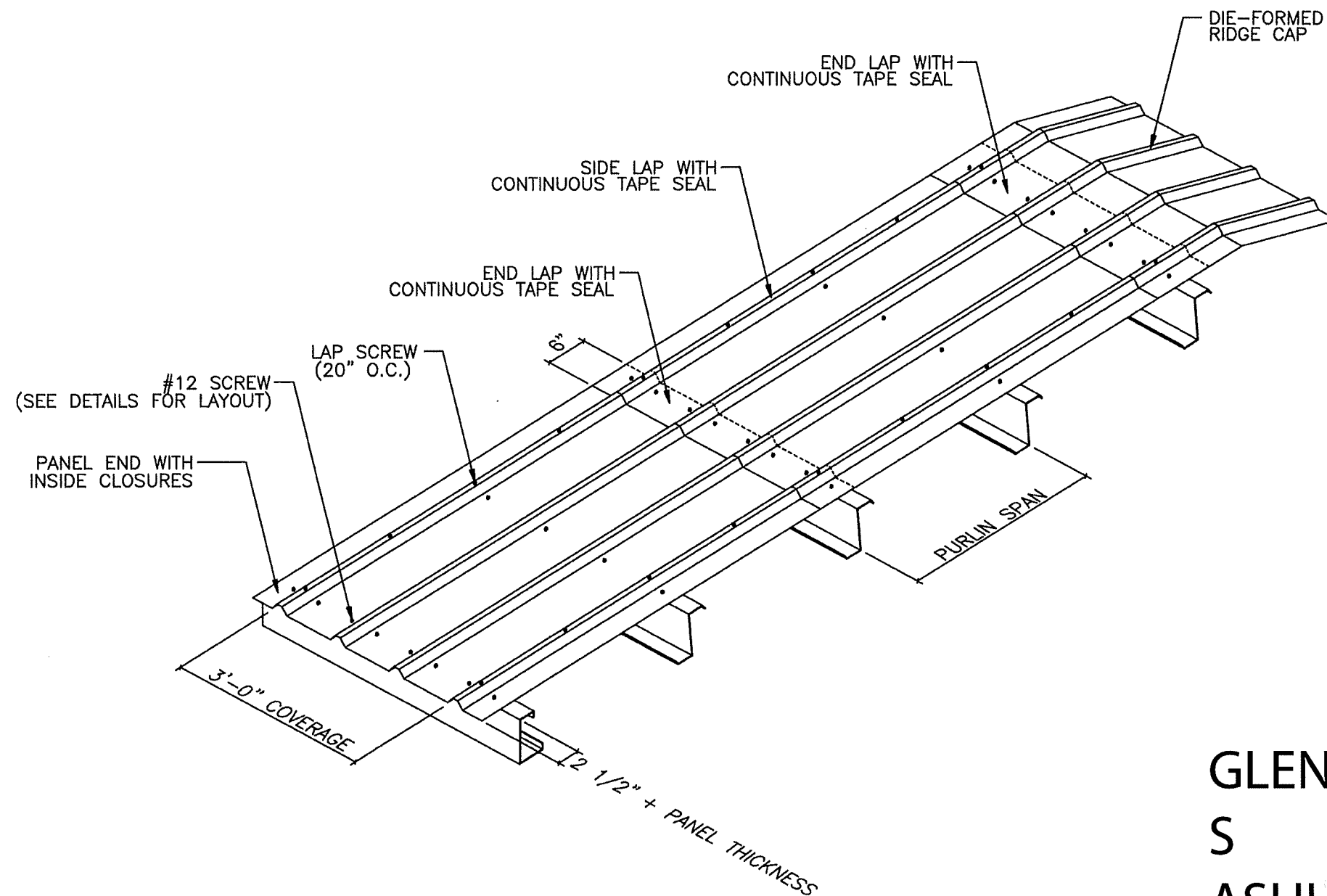
TRIM TABLE		
ROOF PLAN		
◇ ID	PART	LENGTH
1	D/F CAP	3'-0"

		
STEEL BUILDING SYSTEMS INC.		
REVISIONS	CUSTOMER: HAWK CONSTRUCTION	
[1]	JOB NO: 25-03-119	DATE: 3/20/25
[2]	LOCATION: METTER, GA	
[3]	DRAWING NAME: ROOF PANELS & TRIM	SCALE: NONE
[4]	DRAWING NO: PAGE 6	DRAWN BY: MS CHECKED BY:

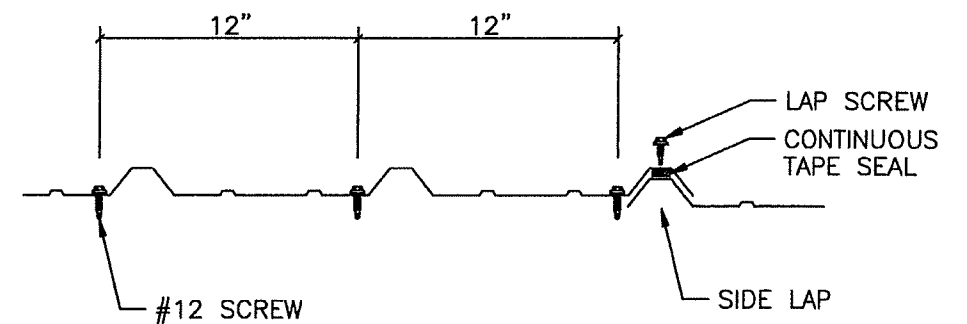
GLEN S
ASHLEY

Digitally signed by
GLEN S ASHLEY
Date: 2025.03.24
05:57:27 -04'00'

STRUCTURAL STAMP	
	



DETAIL AT PANEL END



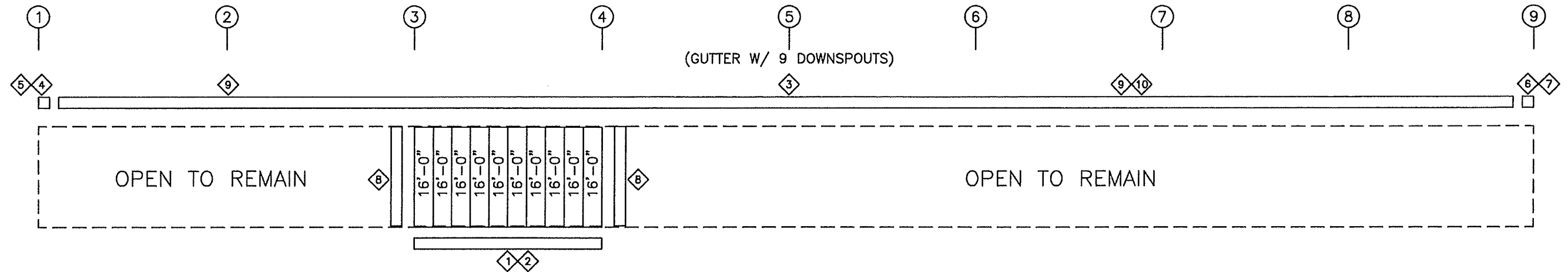
DETAIL AT INTERIOR OF PANEL

GLEN S ASHLEY
 Digitally signed by GLEN S ASHLEY
 Date: 2025.03.24 05:57:09 -04'00'

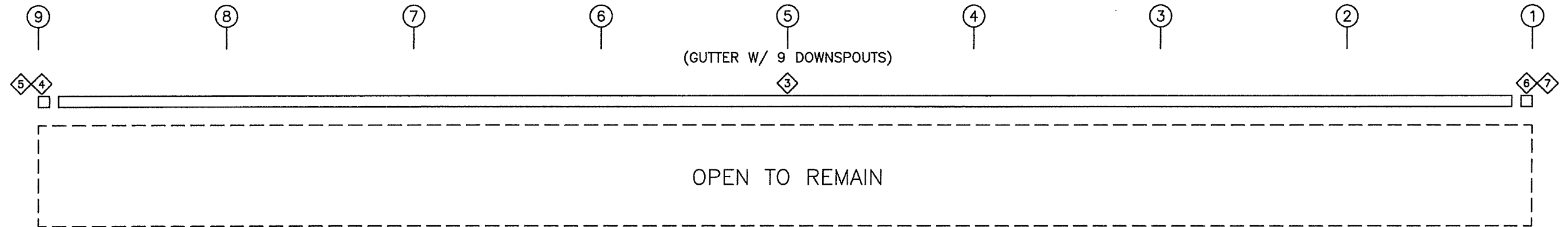
NOTES:

- [1] ALL END LAPS MUST BE A MINIMUM OF 6".
- [2] METAL SHAVINGS MUST BE SWEEPED FROM THE ROOF EACH DAY DURING ERECTION TO PREVENT SURFACE RUSTING.
- [3] TAPE SEAL MUST BE APPLIED WITH NO GAPS OR BREAKS.
- [4] #12 SCREWS ARE USED TO ATTACH THE PANEL TO THE PURLINS. #14 LAP SCREWS ARE USED AT THE PANEL-TO-PANEL ATTACHMENTS. ALL FASTENERS ARE SELF-DRILLING.

				STRUCTURAL STAMP 	
REVISIONS		CUSTOMER: HAWK CONSTRUCTION			
[1]		JOB NO: 25-03-119		DATE: 3/20/25	
[2]		LOCATION: METTER, GA			
[3]		DRAWING NAME: ROOF PANEL DETAILS			SCALE: NONE
[4]		DRAWING NO: PAGE 6.1		DRAWN BY: MS	CHECKED BY:



SIDEWALL SHEETING & TRIM: FRAME LINE A
PANELS: 26 GA. R - COLONY GREEN




SIDEWALL SHEETING & TRIM: FRAME LINE L

TRIM TABLE		
FRAME LINE A & L		
◇ ID	PART	LENGTH
1	BASE TRM	20'-3"
2	BASE TRM	10'-0"
3	GUTTER	20'-3"
4	GUTEND L	
5	CORBOX L	
6	GUTEND R	
7	CORBOX R	
8	O/S CORN	16'-0"
9	R HEAD	20'-3"
10	R HEAD	10'-0"


GLEN S
ASHLEY
Y

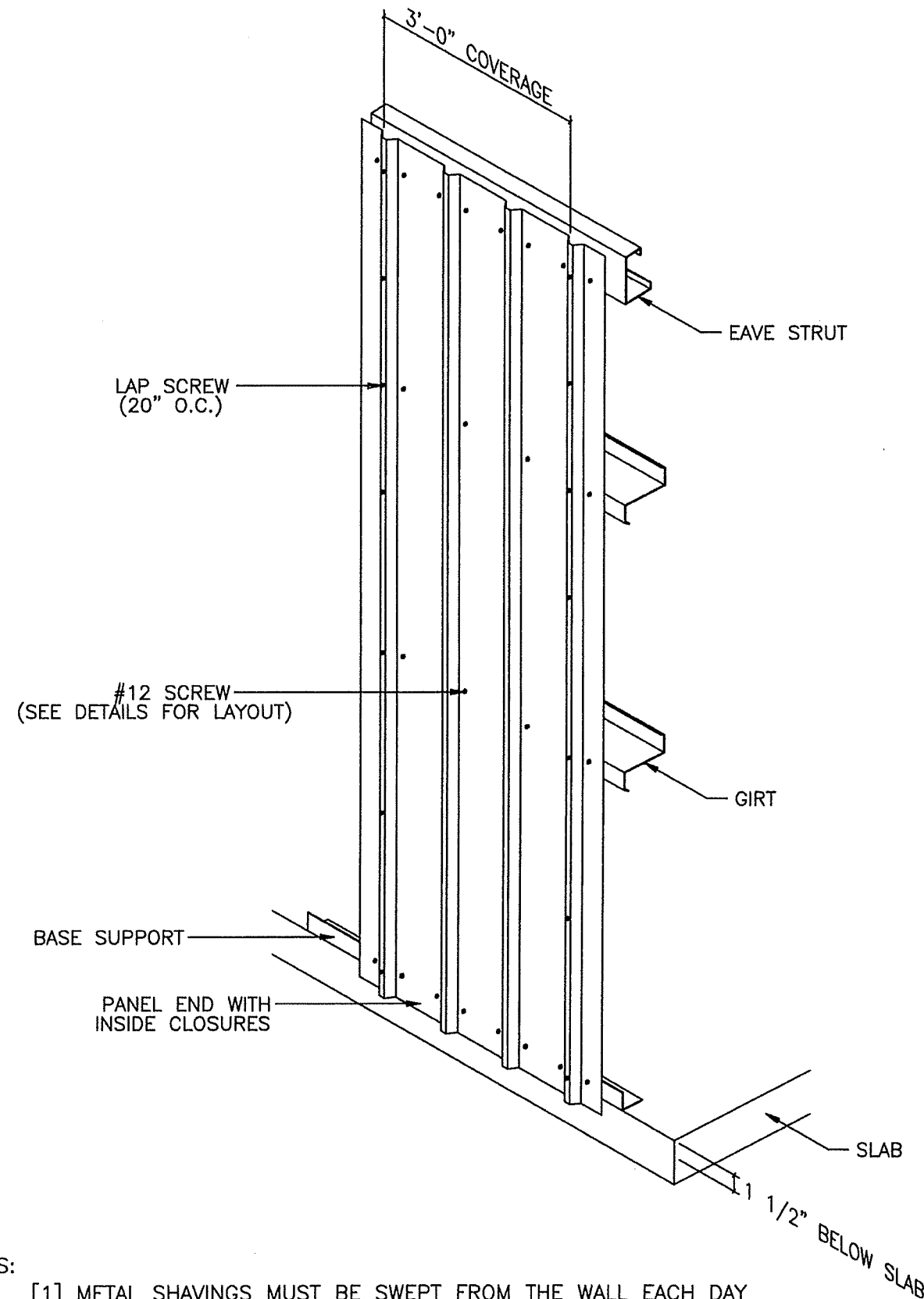
Digitally signed by
GLEN S ASHLEY
Date: 2025.03.24
05:56:43 -04'00'



STEEL BUILDING SYSTEMS INC.

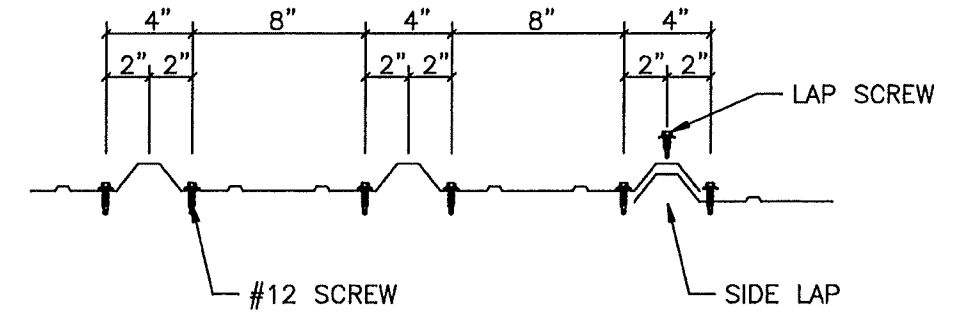
REVISIONS	CUSTOMER: HAWK CONSTRUCTION	
[1]	JOB NO: 25-03-119	DATE: 3/20/25
[2]	LOCATION: METTER, GA	
[3]	DRAWING NAME: SIDEWALL PANELS & TRIM	SCALE: NONE
[4]	DRAWING NO: PAGE 7	DRAWN BY: MS CHECKED BY:

STRUCTURAL STAMP

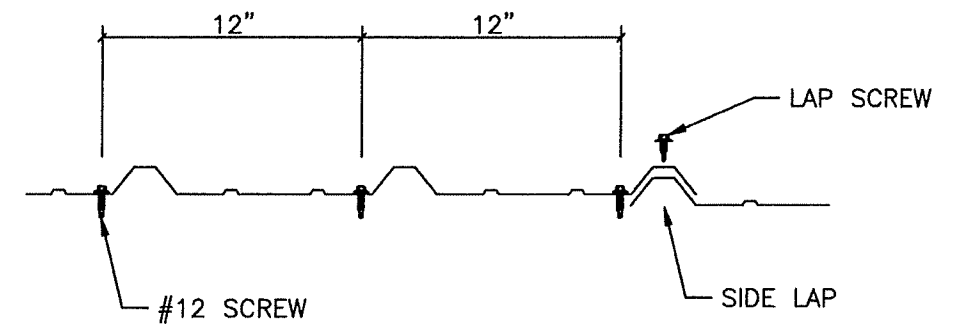


NOTES:

- [1] METAL SHAVINGS MUST BE SWEEPED FROM THE WALL EACH DAY DURING ERECTION TO PREVENT SURFACE RUSTING.
- [2] #12 SCREWS ARE USED TO ATTACH THE PANEL TO THE GIRTS. #14 LAP SCREWS ARE USED AT THE PANEL-TO-PANEL ATTACHMENTS. ALL FASTENERS ARE SELF-DRILLING.



DETAIL AT PANEL END
DETAIL AT HEADER/SILL
DETAIL AT PARTIAL WALL

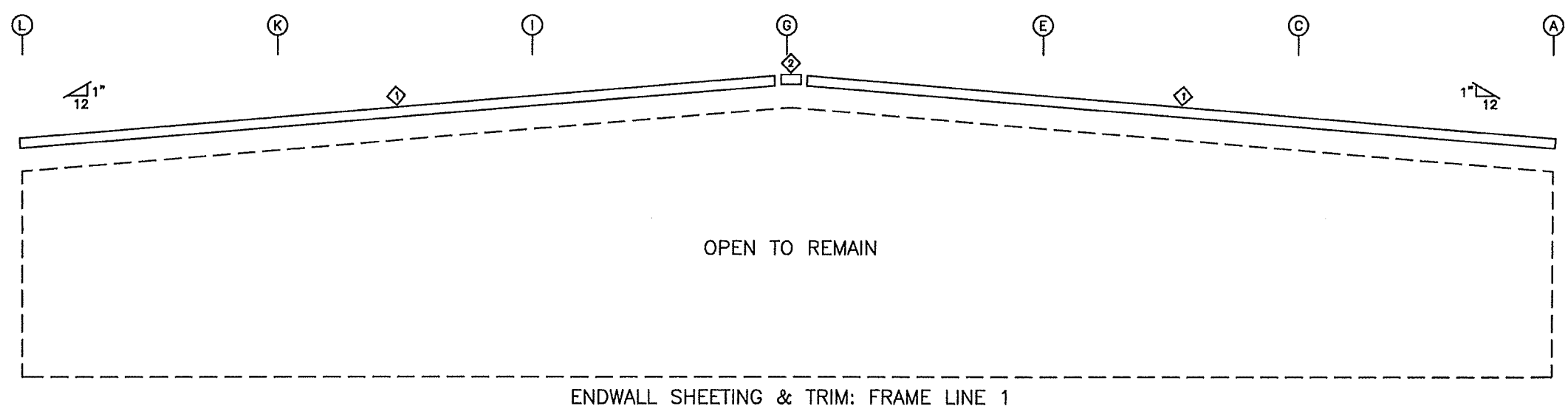


DETAIL AT INTERIOR OF PANEL

GLEN S ASHLEY
Digitally signed by GLEN S ASHLEY
Date: 2025.03.24 05:56:23 -04'00'

STEEL BUILDING SYSTEMS INC.			
REVISIONS	CUSTOMER: HAWK CONSTRUCTION		
[1]	JOB NO: 25-03-119	DATE: 3/20/25	
[2]	LOCATION: METTER, GA		
[3]	DRAWING NAME: SIDEWALL PANEL DETAILS	SCALE: NONE	
[4]	DRAWING NO: PAGE 7.1	DRAWN BY: MS	CHECKED BY:

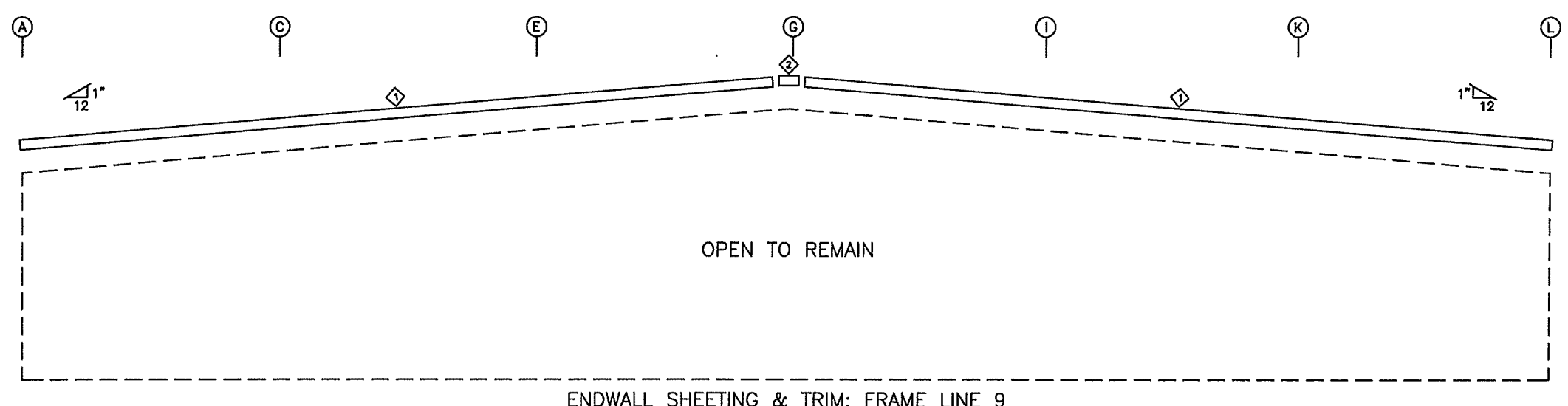
STRUCTURAL STAMP



ENDWALL SHEETING & TRIM: FRAME LINE 1


TRIM TABLE		
FRAME LINE 1 & 9		
◇ ID	PART	LENGTH
1	RAKE TRM	20'-3"
2	PEAK BOX	

* FOR 10" PURLINS.



ENDWALL SHEETING & TRIM: FRAME LINE 9

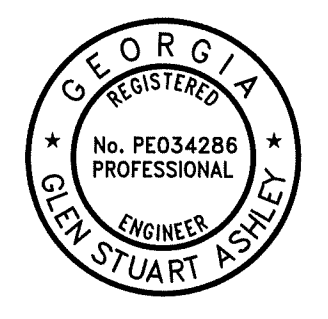
GLEN S ASHLEY Digitally signed by GLEN S ASHLEY
Date: 2025.03.24 05:56:00 -04'00'

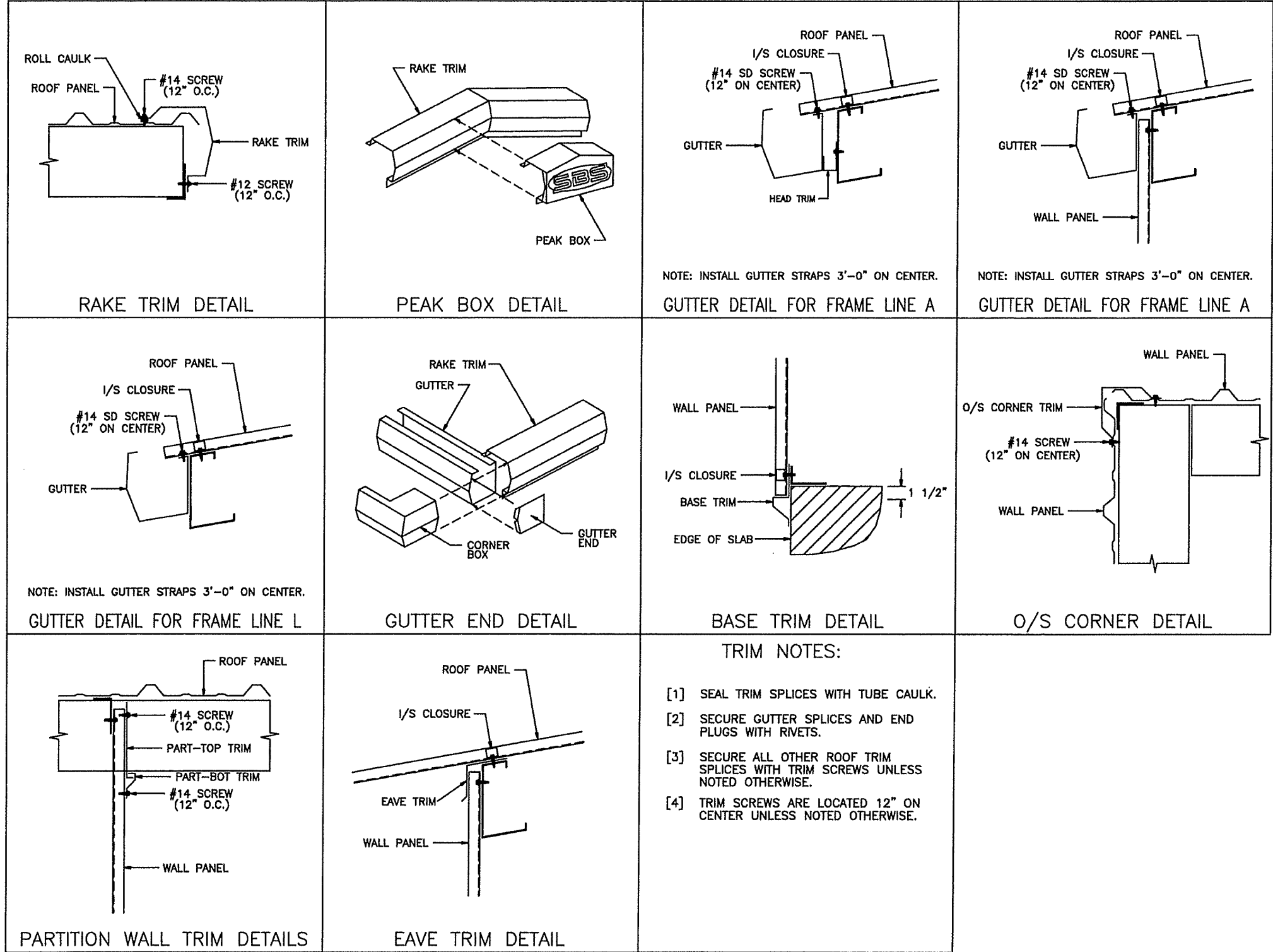


STEEL BUILDING SYSTEMS INC.

REVISIONS	CUSTOMER: HAWK CONSTRUCTION		
[1]	JOB NO: 25-03-119	DATE: 3/20/25	
[2]	LOCATION: METTER, GA		
[3]	DRAWING NAME: ENDWALL PANELS & TRIM	SCALE: NONE	
[4]	DRAWING NO: PAGE 8	DRAWN BY: MS	CHECKED BY:

STRUCTURAL STAMP





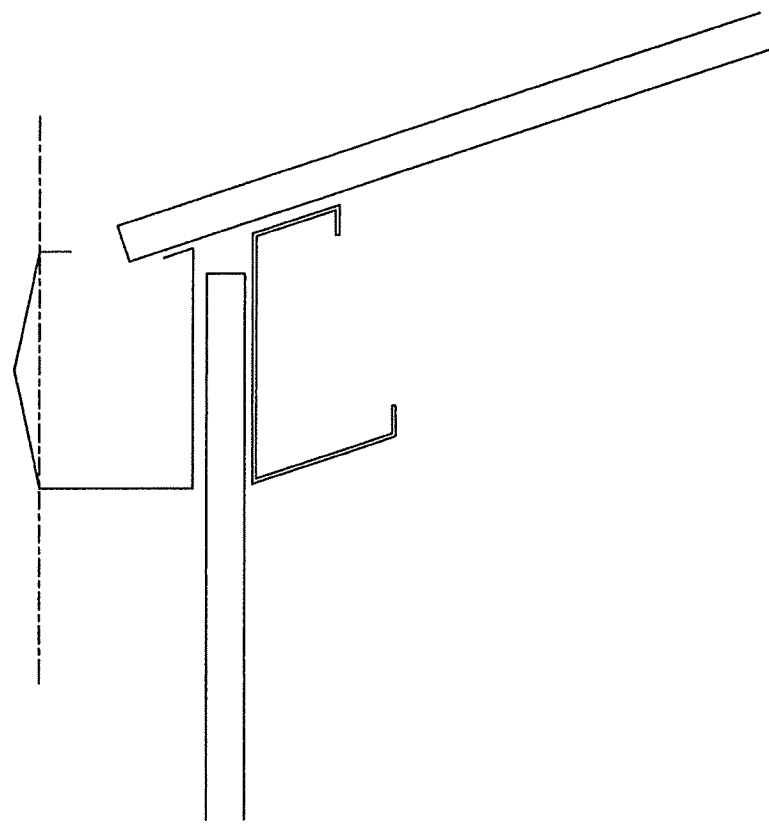
GLEN S
ASHLEY

Digitally signed by
GLEN S ASHLEY
Date: 2025.03.24
05:55:37 -04'00'

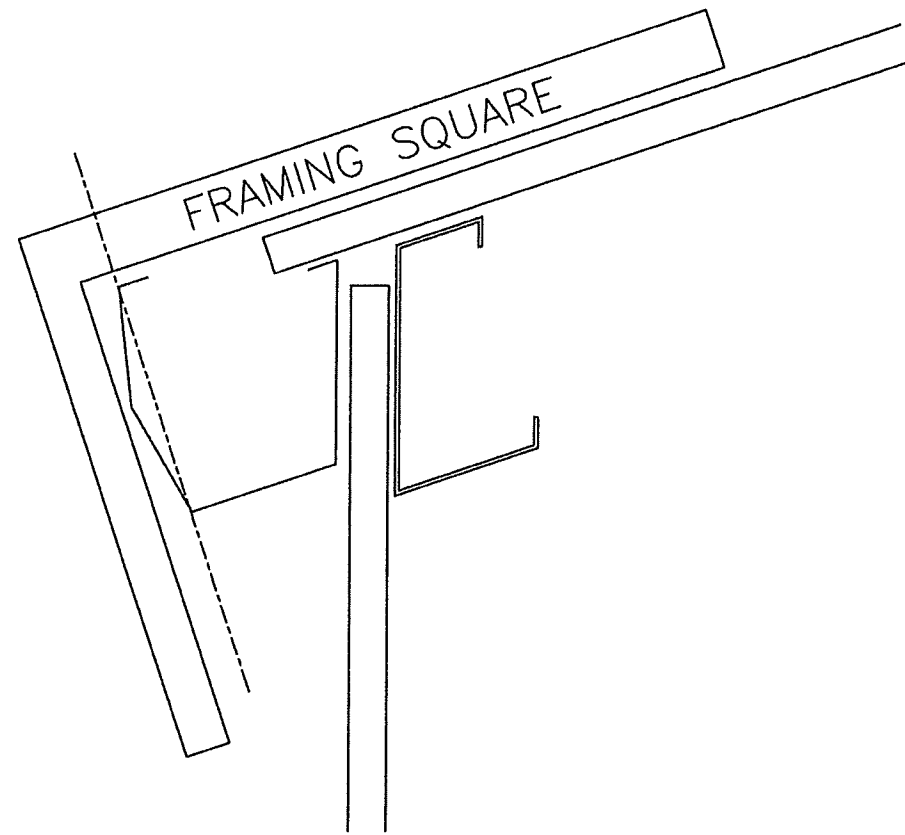
SBS STEEL BUILDING SYSTEMS INC.			
REVISIONS		CUSTOMER: HAWK CONSTRUCTION	
[1]		JOB NO: 25-03-119	DATE: 3/20/25
[2]		LOCATION: METTER, GA	
[3]		DRAWING NAME: TRIM DETAILS	SCALE: NONE
[4]		DRAWING NO: PAGE 9	DRAWN BY: MS CHECKED BY:

STRUCTURAL STAMP







DO NOT INSTALL GUTTER WITH
OUTSIDE FACE PERPENDICULAR
TO THE GROUND.

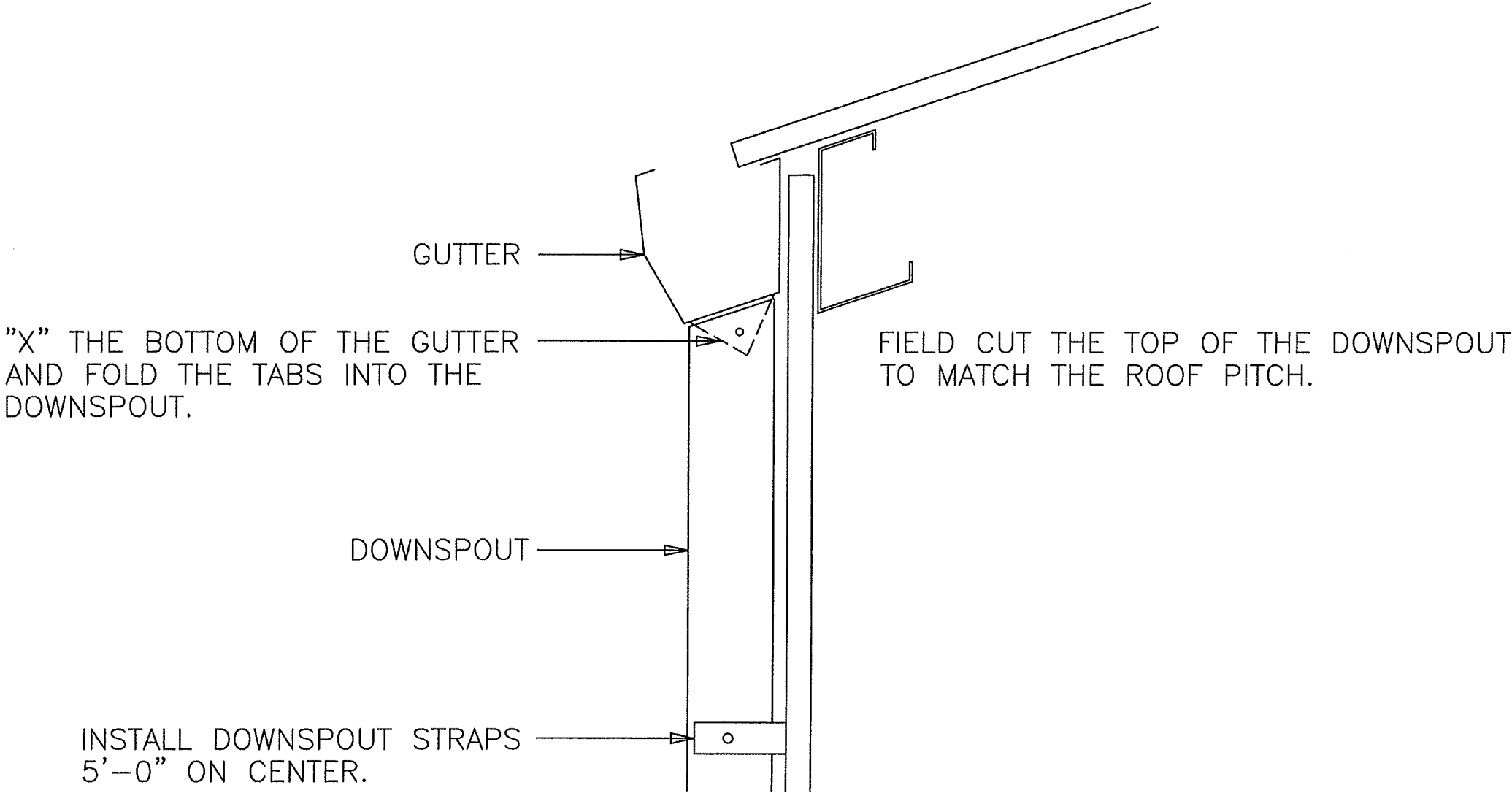


INSTALL GUTTER WITH
OUTSIDE FACE PERPENDICULAR
TO THE ROOF.

GUTTER INSTALLATION DETAIL


GLEN S ASHLEY Digitally signed by
GLEN S ASHLEY
Date: 2025.03.24 05:55:17 -04'00'

 STEEL BUILDING SYSTEMS INC.				STRUCTURAL STAMP 		
REVISIONS		CUSTOMER: HAWK CONSTRUCTION				
[1]	JOB NO: 25-03-119		DATE: 3/20/25			
[2]	LOCATION: METTER, GA					
[3]	DRAWING NAME: GUTTER INSTALL DETAILS		SCALE: NONE			
[4]	DRAWING NO: PAGE 9.1		DRAWN BY: MS		CHECKED BY:	




DOWNSPOUT INSTALLATION DETAIL

GLEN S ASHLEY Digitally signed by GLEN S ASHLEY
Date: 2025.03.24 05:54:56 -04'00'



STEEL BUILDING SYSTEMS INC.

REVISIONS	CUSTOMER: HAWK CONSTRUCTION		
[1]	JOB NO: 25-03-119	DATE: 3/20/25	
[2]	LOCATION: METTER, GA		
[3]	DRAWING NAME: DOWNSPOUT INSTALL DETAILS	SCALE: NONE	
[4]	DRAWING NO: PAGE 9.2	DRAWN BY: MS	CHECKED BY:

STRUCTURAL STAMP

File Name

USA Upstar

Address

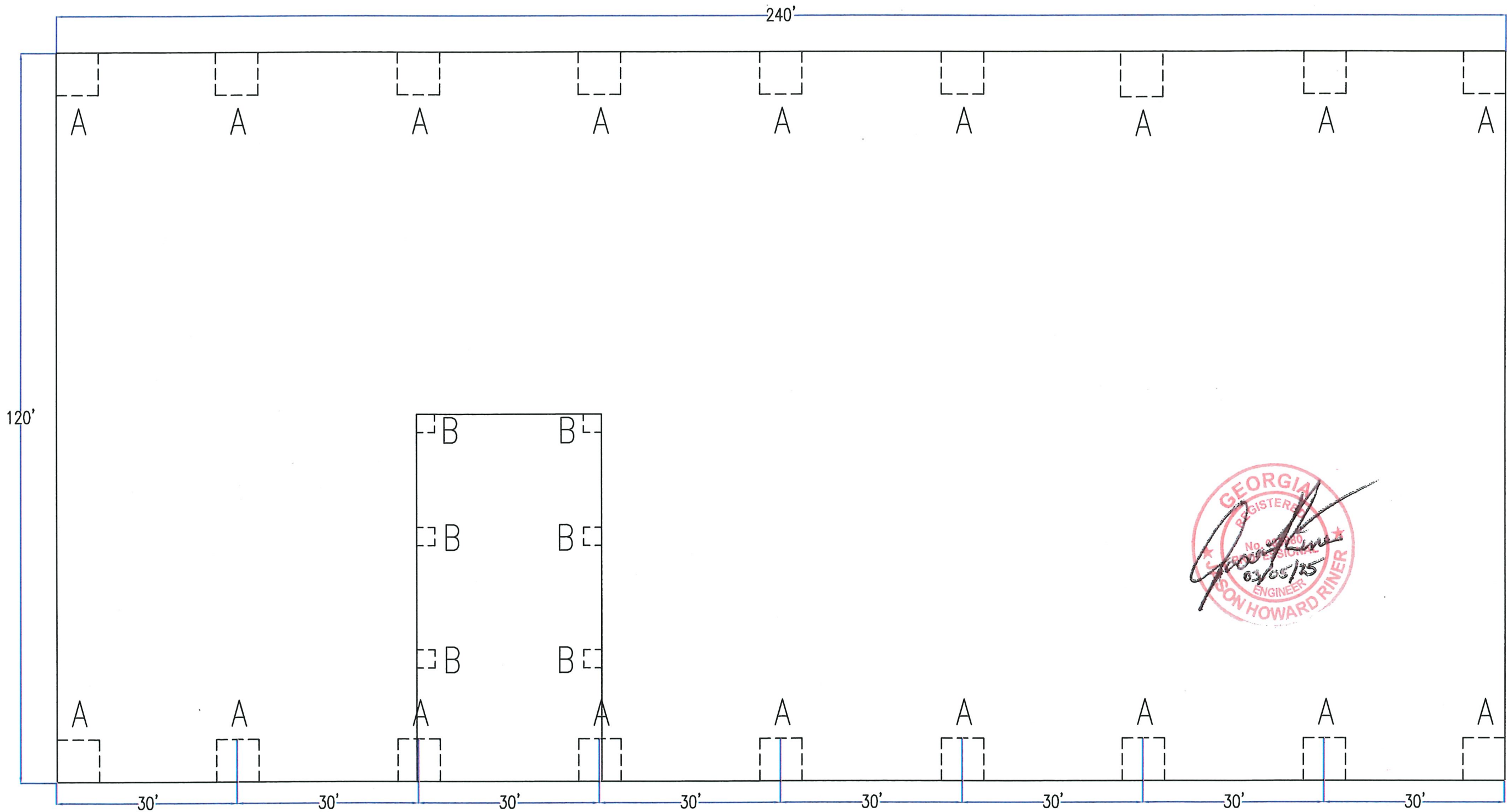
38874 Hwy 46

Date

Drawn By

L. Howard

Revisions



HAWK
CONSTRUCTION, LLC

742 Metts Rd.
Statesboro, GA 30461
Phone: 912-587-5890
Fax: 912-587-5801

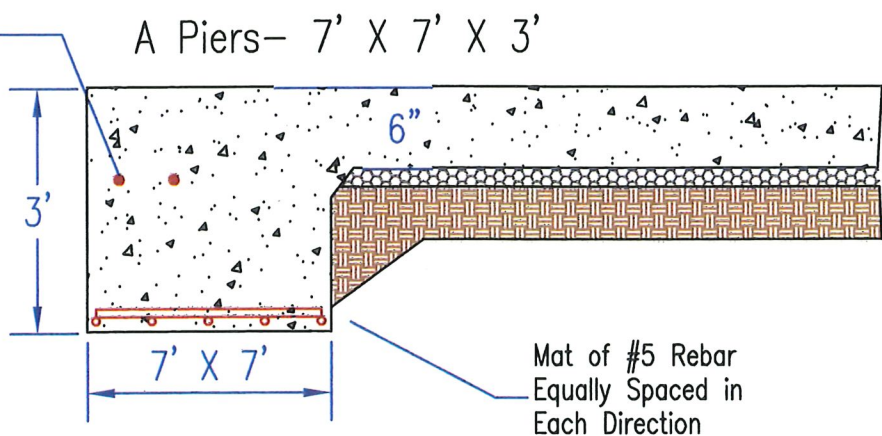
SHEET SCALE:

Not to Scale

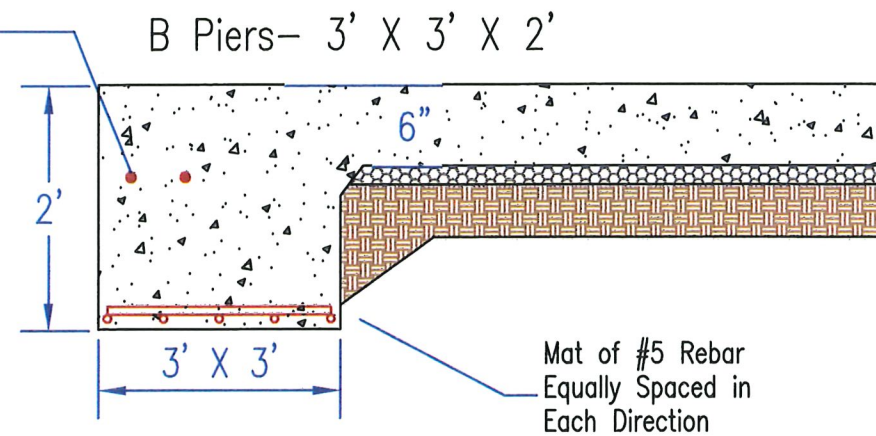
SHEET NO.

F1.0

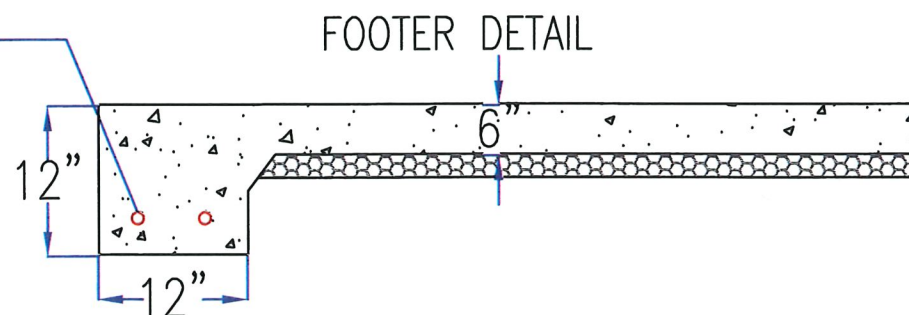
2 Runs of #5 Rebar
Continuous on Perimeter
of Slab



2 Runs of #5 Rebar
Continuous on Perimeter
of Slab



2 Runs of #5 Rebar
Continuous on Perimeter
of Slab



A Piers — 7' X 7' X 3'
B Piers — 3' X 3' X 2'



File Name

USA Upstar

Address

38874 Hwy 46

Date

Drawn By

L Howard

Revisions



HAWK
CONSTRUCTION, LLC

742 Metts Rd.
Statesboro, GA 30461
Phone: 912-587-5890
Fax: 912-587-5801

SHEET SCALE:

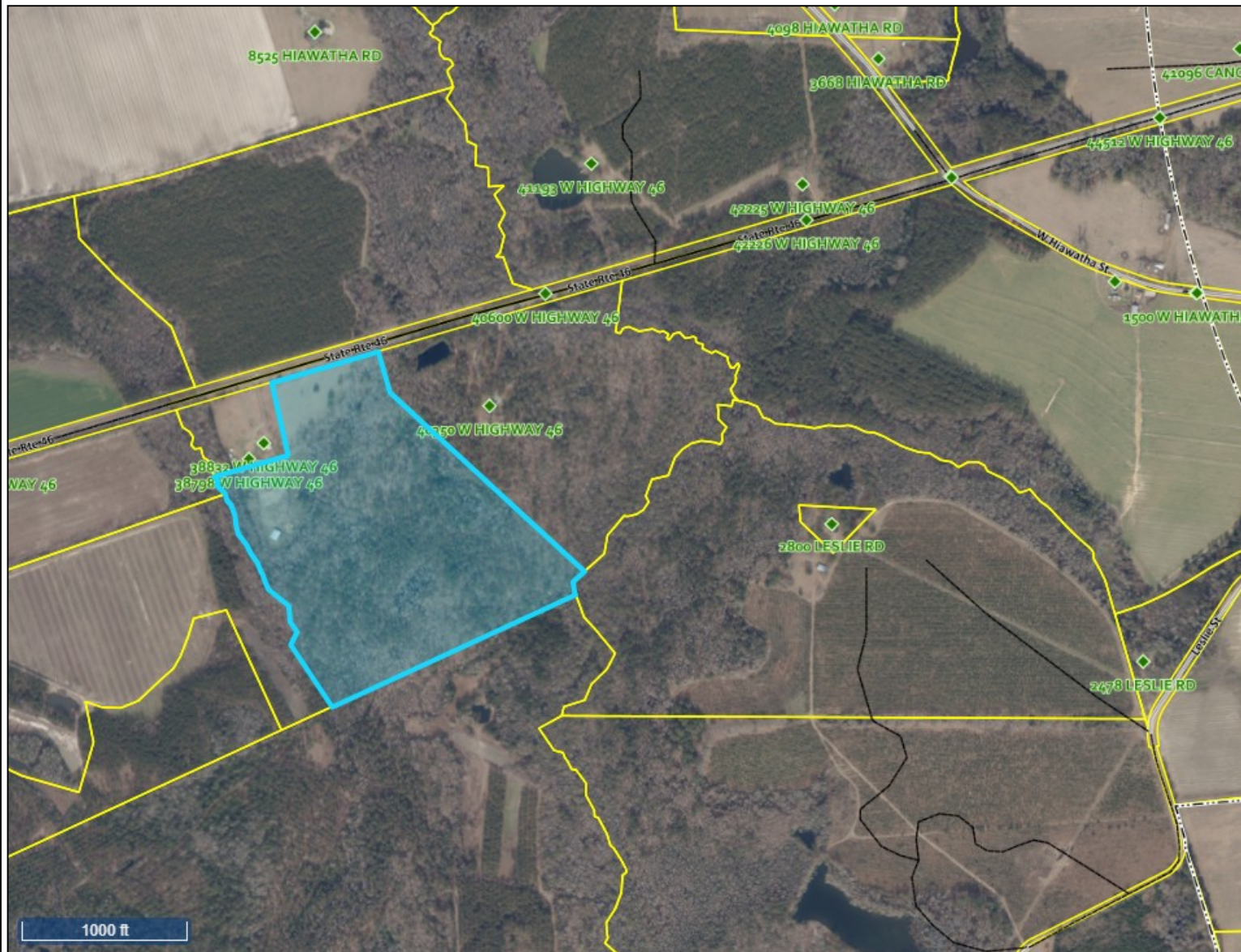
Not to Scale

SHEET NO.

F2.0



Candler 2025-3 USA UPSTAR



Legend

City Boundaries County Boundaries

- County Boundary
- County Boundary

Address Points

- Candler Address Labels
- Candler Address Points

Tax Parcels Current Year

- Parcels scale 0 to 5000
- Parcels scale over 5000

Roads

- Interstates and US Routes
- Scale less than 5000
- Scale greater than 5000
- State and County Roads
- Scale less than 5000
- Scale greater than 5000
- Local Roads
- Unknown Roads

This map is a user generated static output from rightspot.spateng.com website and is for reference use only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

Candler County, GA

Pay Taxes Online

[Click Here to Pay Taxes Online](#)

Summary

Parcel Number	028 004
Location Address	38874 W HWY 46
Legal Description	57.98 ACRES
	(Note: Not to be used on legal documents)
Class	C5-Commercial
	(Note: This is for tax purposes only. Not to be used for zoning.)
Tax District	COUNTY (District 01)
Millage Rate	27.294
Acres	57.98
Homestead Exemption	No (S0)
Landlot/District	N/A

[View Map](#)



Owner

USA UP STAR LLC
1760 INDUSTRIAL DR
GREENWOOD, IN 46143

Land

Type	Description	Calculation Method	Square Footage	Frontage	Depth	Acres	Lots
Commercial	\$3000 Per Acre	Acres	2,525,609	0	0	57.98	0

Commercial Improvement Information

Description	Lt Ind WHSE Shell-5
Value	\$1,258,538
Actual Year Built	2022
Effective Year Built	
Square Feet	50000
Wall Height	16
Wall Frames	Steel
Exterior Wall	Enamel Steel
Roof Cover	Galvanized Metal
Interior Walls	Unfinished
Floor Construction	Reinforced Concrete
Floor Finish	Concrete
Ceiling Finish	No Ceiling
Lighting	Standard F.F.
Heating	No Heat
Number of Buildings	1

Accessory Information

Description	Year Built	Dimensions/Units	Identical Units	Value
SHIPPING CONTAINER	2023	8x40 / 1	0	\$1,000
FEE - EMERGENCY MED SERVICES	2022	1x1 / 1	1	\$0
FEE - GARBAGE COLLECTION	2022	1x1 / 1	1	\$0
FEE - LANDFILL	2022	1x1 / 1	1	\$0
CLF2 CHAIN LINK FENCE 6' LF	2022	1x550 / 0	0	\$8,762
COMMERCIAL SEPTIC	2006	1x1 / 1	1	\$10,000
HSA WELL ONLY	2006	1x1 / 1	1	\$5,000
AP4 POLE SHED WD 3 SIDE	2005	45x58 / 0	0	\$12,737

Sales

Sale Date	Deed Book / Page	Plat Book / Page	Sale Price	Reason	Grantor	Grantee
2/23/2022	303 481	11 35	\$231,928	Improved After Sale-ALT	OATES, DAVID REID & KAREN B	USA UP STAR LLC
4/12/2004	208 549	11 35	\$115,964	Timber Included-ALT	SOUTHEAST GEORGIA LAND COMPANY	OATES, DAVID REID & KAREN B
8/6/2002	190 189	9 182	\$134,000	Forced Sale	SPIVEY, W C	SOUTHEAST GEORGIA LAND COMPANY
1/1/1986	81 345		\$71,000	Fair Market Value-ALT	BOWEN, THOMAS	SPIVEY, W C
5/1/1985	79 197		\$71,000	Fair Market Value-ALT	BOWEN, W E	BOWEN, THOMAS
	15 80		\$0	Quit Claim		BOWEN, W E

Valuation

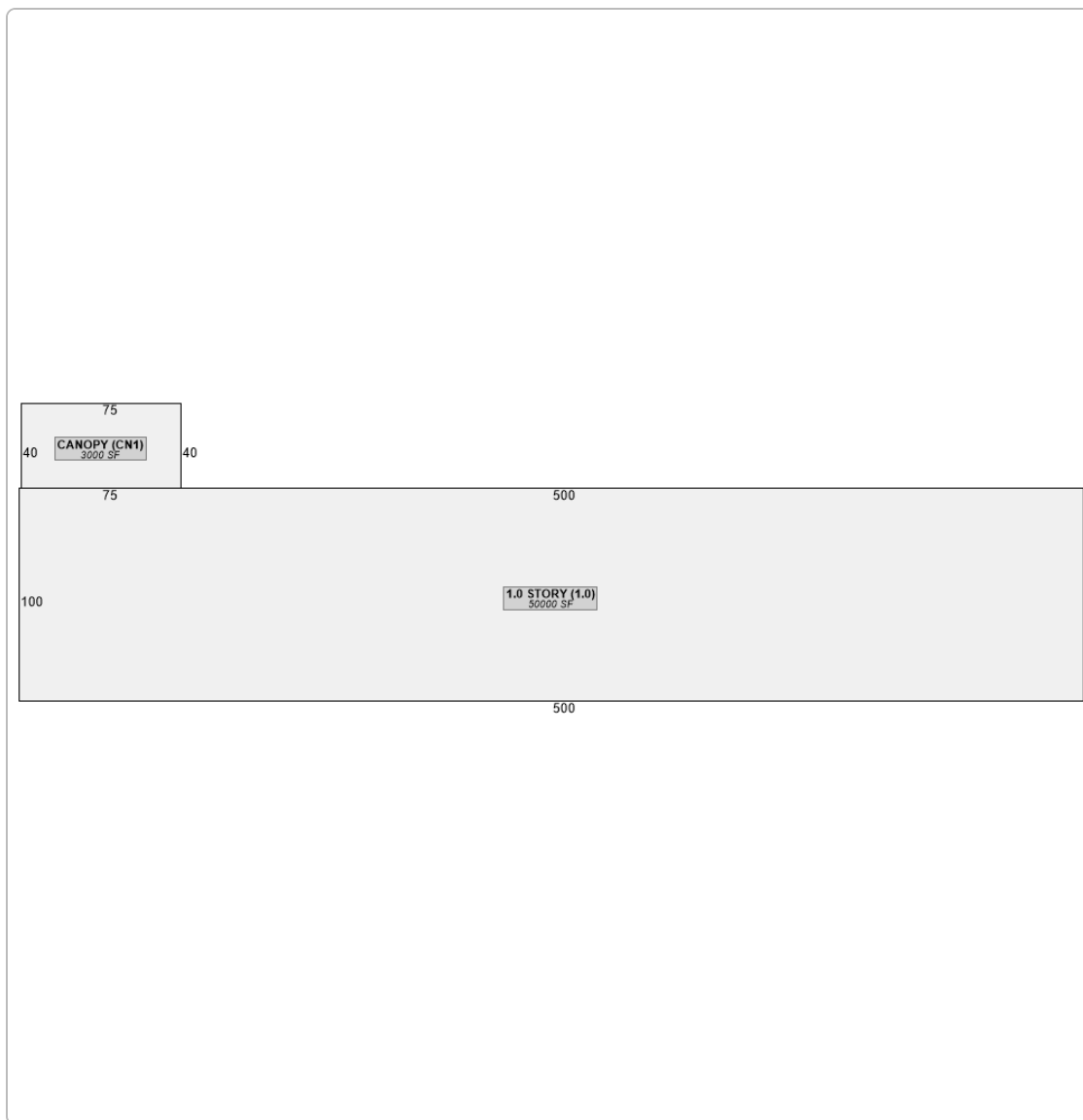
	2024	2023	2022	2021
Previous Value	\$1,471,166	\$96,528	\$96,528	\$85,095
Land Value	\$173,940	\$194,556	\$77,989	\$77,989
+ Improvement Value	\$1,258,538	\$1,258,538	\$0	\$0
+ Accessory Value	\$37,499	\$18,072	\$18,539	\$18,539
= Current Value	\$1,469,977	\$1,471,166	\$96,528	\$96,528
10 Year Land Covenant (Agreement Year / Value)				2018 / \$25,029

Photos





Sketches



No data available for the following modules: Rural Land, Conservation Use Rural Land, Residential Improvement Information, Mobile Homes, Prebill Mobile Homes.

The Candler County Assessor makes every effort to produce the most accurate information possible. No warranties, expressed or implied are provided for the data herein, its use or interpretation. The assessment information is from the last certified tax roll. All other data is subject to change.

[User Privacy Policy](#) | [GDPR Privacy Notice](#)

Last Data Upload: 3/28/2025, 6:14:58 AM

[Contact Us](#)

Developed by
 **SCHNEIDER**
GEOSPATIAL

Candler County, GA

Pay Taxes Online

[Click Here to Pay Taxes Online](#)

Summary

Parcel Number 028 004 001
Location Address 38832 W HWY 46
Legal Description 5.53 ACRES & IMPROVEMENTS
(Note: Not to be used on legal documents)
Class R4-Residential
(Note: This is for tax purposes only. Not to be used for zoning.)
Tax District COUNTY (District 01)
Millage Rate 27.294
Acres 5.53
Homestead Exemption No (S0)
Landlot/District N/A

[View Map](#)



Owner

BOWEN, DARRYL T & BOSIO, JOHN E
38832 GA HWY 46 W
METTER, GA 30439

Rural Land

Type	Description	Calculation Method	Soil Productivity	Acres
RUR	Small Parcels	Rural	1	5.53

Residential Improvement Information

Style One Family
Heated Square Feet 2512
Interior Walls Sheetrock/Panel
Exterior Walls Masonry/Wood
Foundation Masonry
Attic Square Feet 0
Basement Square Feet 0
Year Built 1930
Roof Type Metal/Alum or Steel preformed
Flooring Type Carpet/Wood
Heating Type Central Heat/AC
Number Of Rooms 0
Number Of Bedrooms 0
Number Of Full Bathrooms 2
Number Of Half Bathrooms 0
Number Of Plumbing Extras 3
Value \$144,738
Condition Average
House Address 38832 W HWY 46

Style One Family
Heated Square Feet 1224
Interior Walls Sheetrock
Exterior Walls Wood/Hardboard Lap
Foundation Slab
Attic Square Feet 0
Basement Square Feet 0
Year Built 2002
Roof Type HD Shingle
Flooring Type Carpet/Tile
Heating Type Central Heat/AC
Number Of Rooms 0
Number Of Bedrooms 2
Number Of Full Bathrooms 1
Number Of Half Bathrooms 0
Number Of Plumbing Extras 0
Value \$67,993
Condition Average
House Address 38798 W HWY 46

Accessory Information

Description	Year Built	Dimensions/Units	Identical Units	Value
FEE - LANDFILL	2023	2x2 / 2	2	\$0
FEE - EMERGENCY MED SERVICES	2023	2x2 / 2	2	\$0
FEE - GARBAGE COLLECTION	2023	2x2 / 2	2	\$0
RC3 PRE-FAB CARPORT NO WALLS	2023	12x20 / 0	0	\$799
RS1 FRAME,MTL-BLOCK UTIL	2020	12x24 / 0	0	\$6,840
RS1 FRAME,MTL-BLOCK UTIL	2020	12x16 / 0	0	\$4,560
RS1 FRAME,MTL-BLOCK UTIL	2020	1x360 / 0	0	\$8,100
HSF SEPTIC ONLY	2008	1x0 / 1	1	\$2,000
HSF SEPTIC ONLY	2002	1x0 / 1	1	\$2,000
AP6 POLE SHED WD 4 OPEN	2001	12x20 / 0	0	\$200
HSB WELL/SEPTIC	1997	1x0 / 1	1	\$7,000

Sales

Sale Date	Deed Book / Page	Plat Book / Page	Sale Price	Reason	Grantor	Grantee
9/1/2017	295 3891	8 244	\$178,000	Family Sale	BOWEN, JACK H	BOWEN, DARRYL T. & BOSIO, JOHN E.
8/7/2008	245 573	8 244	\$150,000	Fair Market Value-ALT	SPIVEY, TRAVIS K	BOWEN, JACK H
7/31/2007	238 39	8 244	\$0	Family Sale	HARRELL, MARY S	SPIVEY, TRAVIS K
9/23/2002	191 293	8 244	\$70,000	Improved After Sale-ALT	SOUTHEAST GA LAND CO INC	HARRELL, MARY S
8/6/2002	190 189	9 182	\$134,000	Foreclosure/Repoed	SPIVEY, W C	SOUTHEAST GA LAND COMPANY

Valuation

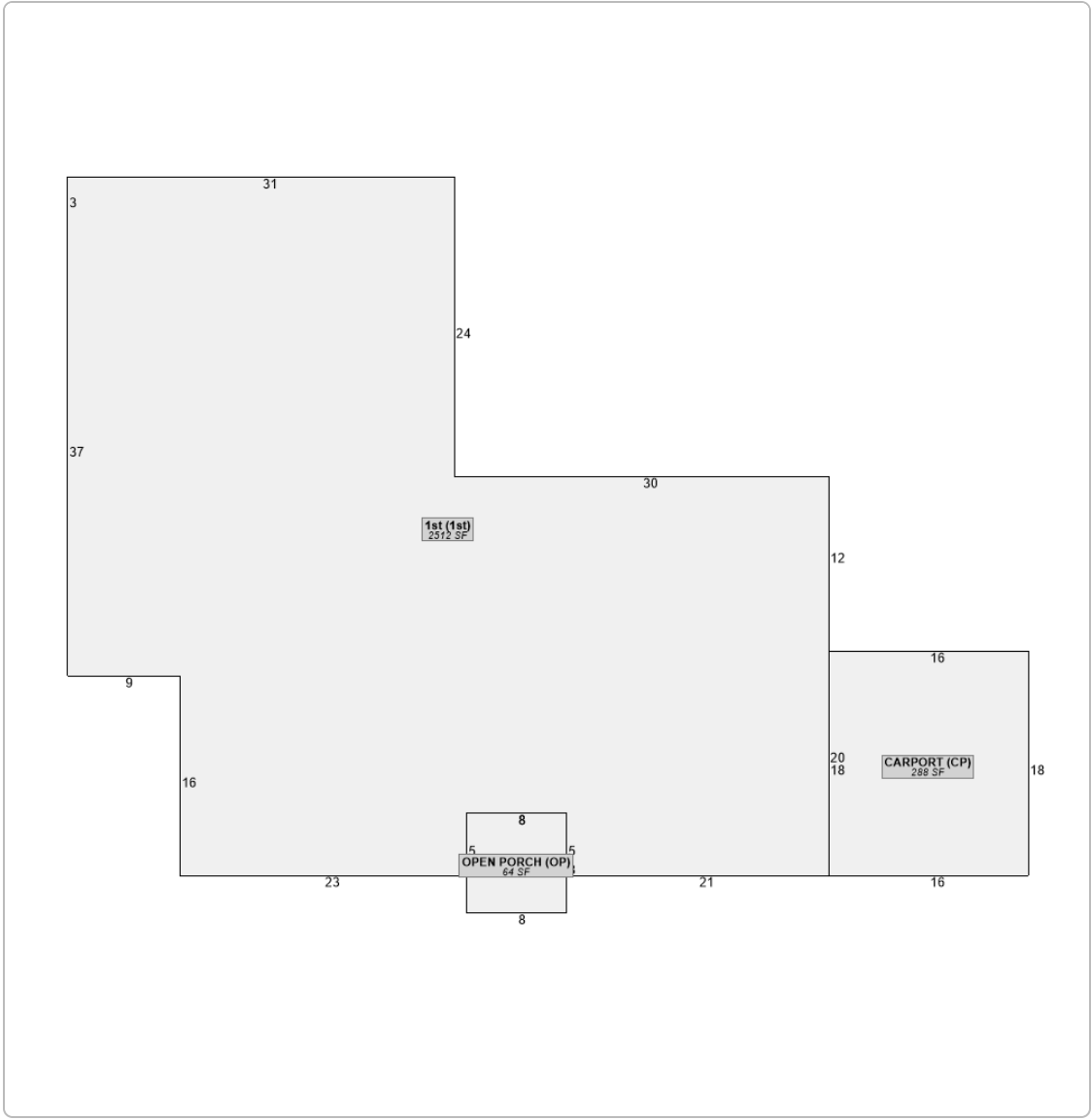
	2024	2023	2022	2021
Previous Value	\$253,181	\$207,374	\$179,591	\$176,939
Land Value	\$18,550	\$18,550	\$18,550	\$18,550
+ Improvement Value	\$212,731	\$203,931	\$175,959	\$148,176
+ Accessory Value	\$31,499	\$30,700	\$12,865	\$12,865
= Current Value	\$262,780	\$253,181	\$207,374	\$179,591

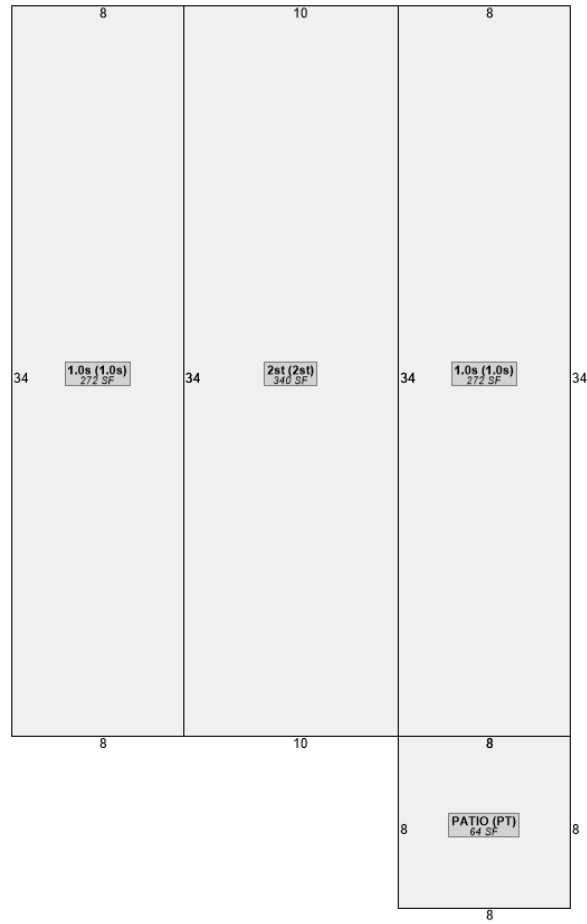
Photos





Sketches





No data available for the following modules: Land, Conservation Use Rural Land, Commercial Improvement Information, Mobile Homes, Prebill Mobile Homes.

The Candler County Assessor makes every effort to produce the most accurate information possible. No warranties, expressed or implied are provided for the data herein, its use or interpretation. The assessment information is from the last certified tax roll. All other data is subject to change.

[User Privacy Policy](#) | [GDPR Privacy Notice](#)

[Last Data Upload: 4/3/2025, 6:02:07 AM](#)

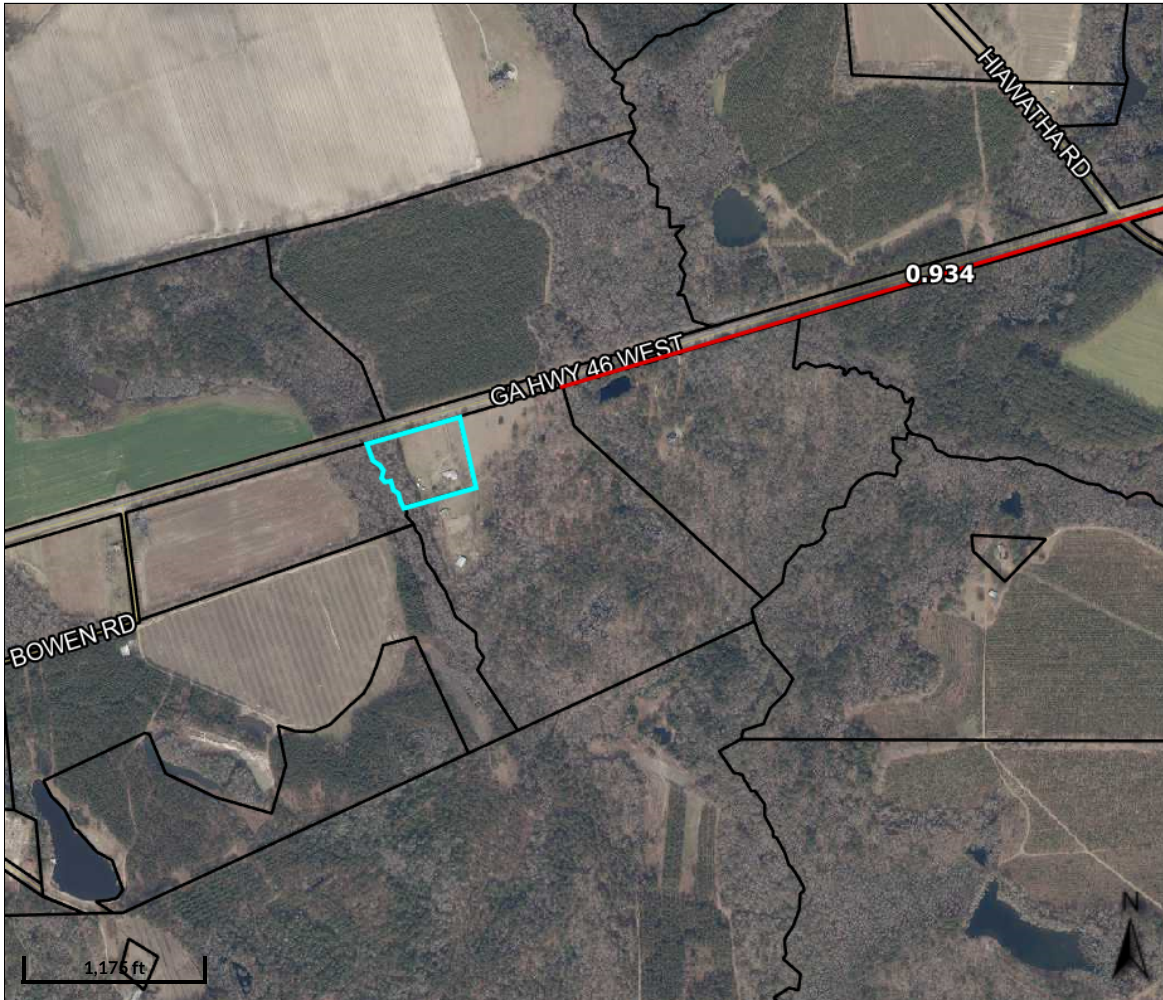
[Contact Us](#)

Developed by

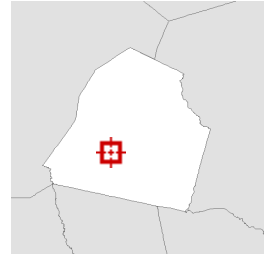




Candler County, GA



Overview



Legend

- Parcels
- Roads

Parcel ID	028 004 001	Owner	BOWEN, DARRYL T & BOSIO, JOHN E	Last 2 Sales			
Class Code	Residential		38832 GA HWY 46 W	Date	Price	Reason	Qual
Taxing District	COUNTY		METTER, GA 30439	9/1/2017	\$178000	FA	U
Acres	5.53	Physical Address	38832 W HWY 46	8/7/2008	\$150000	FM	Q
		Assessed Value	Value \$262780				

(Note: Not to be used on legal documents)

Date created: 4/3/2025

Last Data Uploaded: 4/3/2025 6:02:07 AM

Developed by  **SCHNEIDER**
GEOSPATIAL

Candler County, GA

Pay Taxes Online

[Click Here to Pay Taxes Online](#)

Summary

Parcel Number 028 004 003
Location Address 40350 W HWY 46
Legal Description 47.01 ACRES & HOUSE
(Note: Not to be used on legal documents)
Class V5-Consrv Use
(Note: This is for tax purposes only. Not to be used for zoning.)
Tax District COUNTY (District 01)
Millage Rate 27.294
Acres 47.01
Homestead Exemption Yes (S1)
Landlot/District N/A

[View Map](#)



Owner

[HERRIN, JAMIE & CONNIE](#)
40350 GA HWY 46 W
METTER, GA 30439-4747

Rural Land

Type	Description	Calculation Method	Soil Productivity	Acres
RUR	Woodlands	Rural	4	44.48
RUR	Ponds	Rural	1	0.53
RUR	Homesites	Rural	1	2

Conservation Use Rural Land

Type	Description	Soil Productivity	Acres
CUV	Timberland 93	8	44.48
CUV	Timberland 93	9	0.53

Residential Improvement Information

Style One Family
Heated Square Feet 2516
Interior Walls Sheetrock
Exterior Walls Vinyl/Masonry
Foundation Slab
Attic Square Feet 0
Basement Square Feet 0
Year Built 2006
Roof Type HD Shingle
Flooring Type Carpet/Wood
Heating Type Central Heat/AC
Number Of Rooms 0
Number Of Bedrooms 5
Number Of Full Bathrooms 3
Number Of Half Bathrooms 1
Number Of Plumbing Extras 8
Value \$296,100
Condition Average
House Address 40350 W HWY 46

Accessory Information

Description	Year Built	Dimensions/Units	Identical Units	Value
FEE - EMERGENCY MED SERVICES	2023	1x1 / 1	1	\$0
FEE - GARBAGE COLLECTION	2023	1x1 / 1	1	\$0
FEE - LANDFILL	2023	1x1 / 1	1	\$0
RS1 FRAME,MTL-BLOCK UTIL	2020	8x10 / 0	0	\$1,860
HSB WELL/SEPTIC	2005	1x0 / 1	1	\$7,000
RC3 PRE-FAB CARPORT NO WALLS	2005	18x20 / 0	2	\$1,296
RS1 FRAME,MTL-BLOCK UTIL	2005	8x10 / 0	0	\$440

Sales

Sale Date	Deed Book / Page	Plat Book / Page	Sale Price	Reason	Grantor	Grantee
1/23/2003	195 209	10 10	\$79,900	Sale Involving Trade	SOUTHEAST GA LAND COMPANY	HERRIN, JAMIE & CONNIE
8/6/2002	190 189	9 182	\$134,000	Forced Sale	SPIVEY, WC	SOUTHEAST GA LAND COMPANY

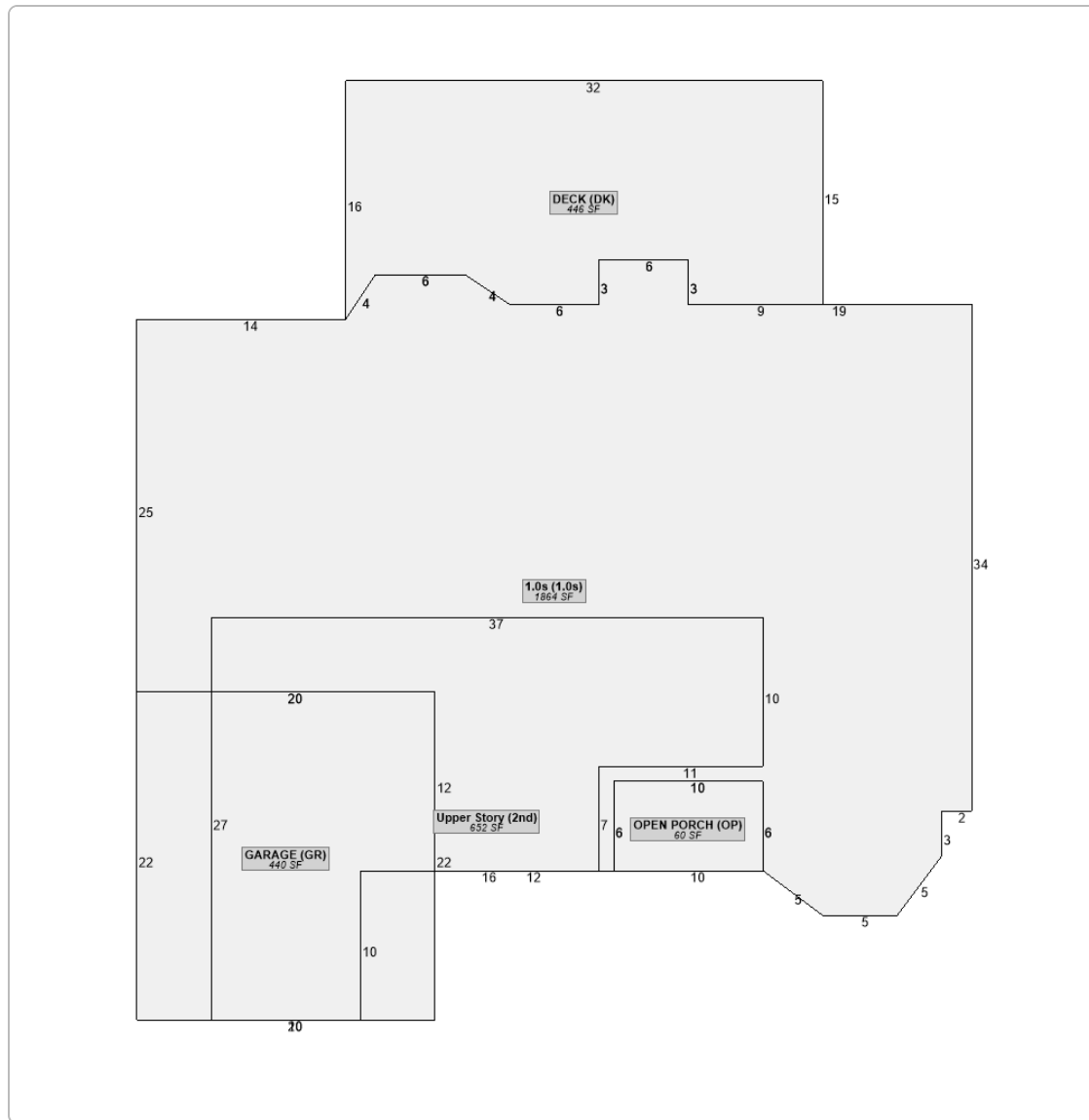
Valuation

	2024	2023	2022	2021
Previous Value	\$343,772	\$298,941	\$261,201	\$273,370
Land Value	\$50,486	\$50,486	\$50,486	\$50,486
+ Improvement Value	\$296,100	\$282,510	\$241,655	\$203,915
+ Accessory Value	\$10,596	\$10,776	\$6,800	\$6,800
= Current Value	\$357,182	\$343,772	\$298,941	\$261,201
10 Year Land Covenant (Agreement Year / Value)	2019 / \$16,482	2019 / \$16,033	2019 / \$15,585	2019 / \$15,136

Photos



Sketches



No data available for the following modules: Land, Commercial Improvement Information, Mobile Homes, Prebill Mobile Homes.

The Candler County Assessor makes every effort to produce the most accurate information possible. No warranties, expressed or implied are provided for the data herein, its use or interpretation. The assessment information is from the last certified tax roll. All other data is subject to change.

[User Privacy Policy](#) | [GDPR Privacy Notice](#)

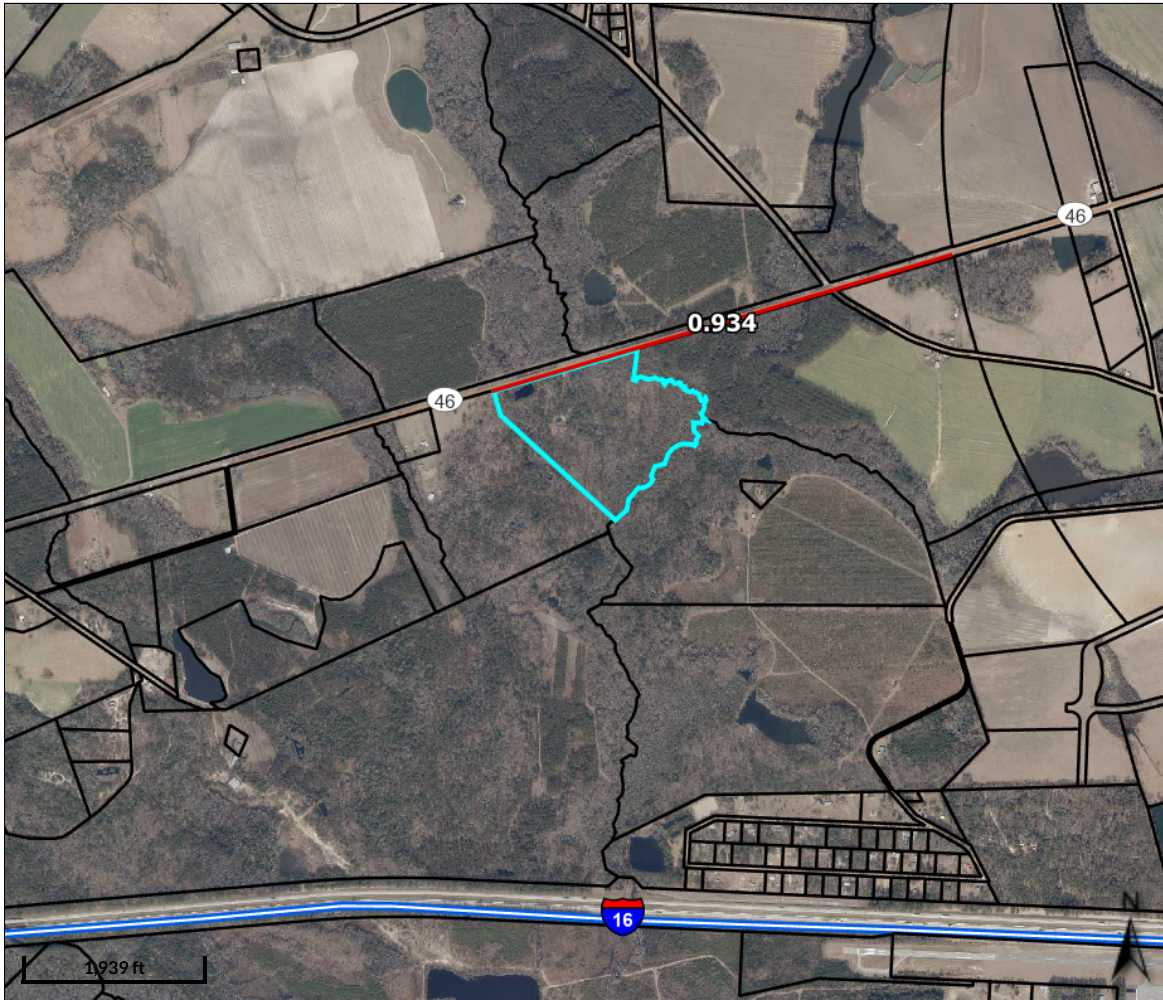
Last Data Upload: 4/3/2025, 6:02:07 AM

[Contact Us](#)

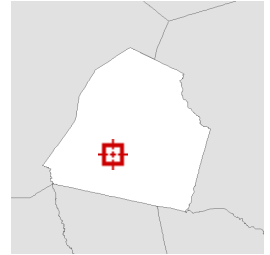
Developed by
 **SCHNEIDER**
GEOSPATIAL



Candler County, GA



Overview



Legend

- Parcels
- Roads

Parcel ID	028 004 003	Owner	HERRIN, JAMIE & CONNIE	Last 2 Sales			
Class Code	Consv Use		40350 GA HWY 46 W	Date	Price	Reason	Qual
Taxing District	COUNTY		METTER, GA 304394747	1/23/2003	\$79900	TS	U
Acres	47.01	Physical Address	40350 W HWY 46	8/6/2002	\$134000	FS	U
		Assessed Value	Value \$357182				

(Note: Not to be used on legal documents)

Date created: 4/3/2025

Last Data Uploaded: 4/3/2025 6:02:07 AM

Developed by  **SCHNEIDER**
GEOSPATIAL